

# PRELIMINARY/FINAL LAND DEVELOPMENT PLANS PROPOSED CVS PHARMACY

TMP#S 26-05-275-000, 26-05-281-000, 26-05-282-000

SITUATED IN:  
**MEDIA BOROUGH**  
**DELAWARE COUNTY, PENNSYLVANIA**

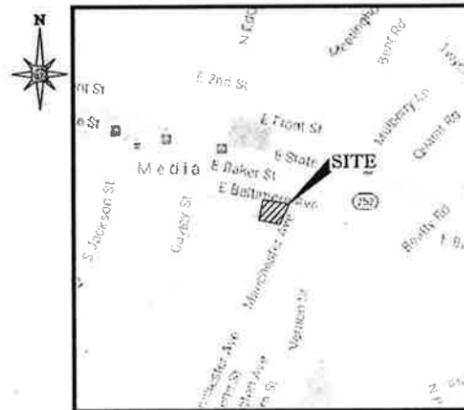
DEVELOPED BY:  
**SUMMIT REALTY ADVISORS, LLC**



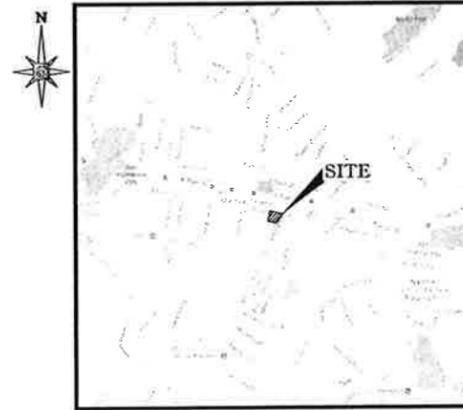
1600 MANOR DRIVE, SUITE 200  
CHALFONT, PENNSYLVANIA 18914  
Phone: (215) 996-9100  
Fax: (215) 996-9102  
PA@BohlerEng.com



USGS MAP  
(LANSDOWNE USGS QUAD)  
SCALE: 1"=1,000'



LOCATION MAP  
1"=8,000'



VICINITY MAP  
1"=2,000'

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11,381 NON-PROTO  
REAR DRIVE-THRU  
STORE NUMBER: 2173  
BALTIMORE PIKE & MANCHESTER AVENUE  
MEDIA BOROUGH, DELAWARE COUNTY, PA  
PROJECT TYPE: RELO  
DEAL TYPE: FFS/LEASE  
CS PROJECT NUMBER: 80024

ARCHITECT OF RECORD



1600 MANOR DRIVE, SUITE 200  
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DEVELOPER

SUMMIT REALTY ADVISORS, LLC  
201 S. MAPLE AVENUE, SUITE 100  
AMBLER, PA 19002  
TEL : 484-532-7830  
FAX : 484-532-7833



REVISIONS

REV.	DATE	COMMENTS	BY
01	01/11/2017	PER TOWNSHIP COMMENTS	D.J.B.
02	02/20/2017	PER DCCD COMMENTS	D.J.B.
03	04/03/2017	PER TOWNSHIP COMMENTS	D.J.B.

CHECKED BY: W.R.R.  
DRAWN BY: D.J.B.  
DATE: 11/14/2016  
JOB NUMBER: PC130124.01  
TITLE:

COVER SHEET

SHEET NUMBER:

1 OF 20

COMMENTS:  
NOT FOR CONSTRUCTION

**OWNER INTENT**

TO ALL WHOM THESE PRESENTS MAY COME, WE, \_\_\_\_\_ SEND GREETINGS.  
KNOW YE THAT WE HAVE LAID OUT UPON OUR LAND, SITUATE IN THE BOROUGH OF  
MEDIA, COUNTY OF DELAWARE AND COMMONWEALTH OF PENNSYLVANIA,  
CERTAIN LOTS ACCORDING TO THE ACCOMPANYING PLAN WHICH HAS BEEN MADE WITH OUR FREE  
CONSENT AND IN ACCORDANCE WITH OUR DESIRES AND IS INTENDED TO BE FORTHWITH RECORDED.  
WITNESS OUR HANDS AND SEALS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

OWNER: \_\_\_\_\_ WITNESS: \_\_\_\_\_  
TITLE: \_\_\_\_\_  
ENTITY: \_\_\_\_\_

**BOROUGH COUNCIL APPROVAL**

APPROVED BY THE COUNCIL OF MEDIA BOROUGH THIS \_\_\_\_\_  
DAY OF \_\_\_\_\_, 20\_\_\_\_.

PRESIDENT

**BOROUGH PLANNING COMMISSION APPROVAL**

APPROVED BY THE MEDIA PLANNING COMMISSION OF THE BOROUGH THIS \_\_\_\_\_  
DAY OF \_\_\_\_\_, 20\_\_\_\_.

CHAIRPERSON

**OWNER ACKNOWLEDGEMENT**

COMMONWEALTH OF PENNSYLVANIA:  
COUNTY OF DELAWARE  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE ME THE SUBSCRIBER, A NOTARY  
PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, PERSONALLY APPEARED  
\_\_\_\_\_, WHO ACKNOWLEDGED THIS PLAN TO BE THE OFFICIAL

PLAN OF PROPERTY SHOWN HEREON, SITUATE IN THE BOROUGH OF MEDIA,  
COUNTY OF DELAWARE AND COMMONWEALTH OF PENNSYLVANIA, AND DESIRE THAT THIS PLAN BE RECORDED  
ACCORDING TO LAW.

NOTARY PUBLIC

**RECORDING CERTIFICATION - COUNTY OF DELAWARE**

THIS PLAN WAS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, IN  
AND FOR THE COUNTY OF DELAWARE AT MEDIA, PENNSYLVANIA IN PLAN BOOK  
NO. \_\_\_\_\_ PAGE \_\_\_\_\_ ON \_\_\_\_\_, 20\_\_\_\_.

RECORDER OF DEEDS

**ENGINEER'S CERTIFICATION**

THE PLANS AND DETAILS DEPICTED HEREIN HAVE BEEN PREPARED IN ACCORDANCE WITH ACT 367, OF 1946  
KNOWN AS THE "ENGINEER, LAND SURVEYOR, AND GEOLOGIST REGISTRATIONS LAW," P.L. 913, NO. 367, 63 P.S.  
SECT. 148 ET. SEQ., AS AMENDED.

WILLIAM R. REARDEN, PA P.E. # 075283

**CERTIFICATE OF ACCURACY**

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED  
HEREON, AS WELL AS ALL DRAWINGS BEARING MY SEAL, ARE TRUE AND CORRECT TO THE  
ACCURACY REQUIRED BY THE BOROUGH SUBDIVISION AND LAND DEVELOPMENT  
ORDINANCE, AND WERE PREPARED BY ME OR UNDER MY DIRECTION AND FOR WHICH I  
ACCEPT FULL RESPONSIBILITY.

PROFESSIONAL LAND SURVEYOR SIGNATURE  
PA P.L.S. No. \_\_\_\_\_ DATE \_\_\_\_\_ SEAL

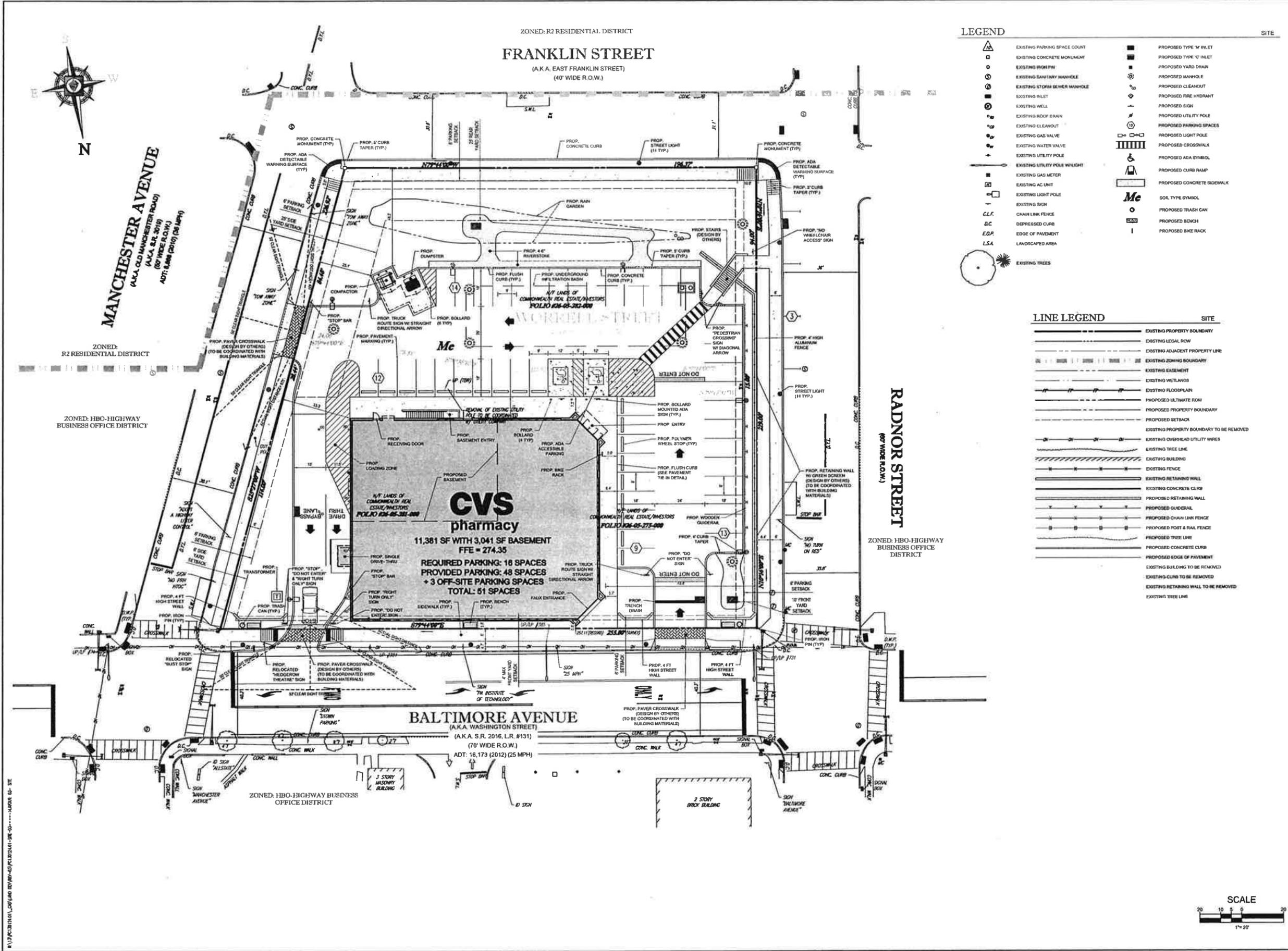
**BOROUGH ENGINEER**

THIS PLAN WAS REVIEWED BY THE BOROUGH ENGINEER OF MEDIA BOROUGH  
ON \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

(BOROUGH ENGINEER'S SIGNATURE) (DATE)

PLAN PREPARED BY W.R. REARDEN, P.E. # 075283





ZONED: R2 RESIDENTIAL DISTRICT

**FRANKLIN STREET**  
(A.K.A. EAST FRANKLIN STREET)  
(40' WIDE R.O.W.)

**MANCHESTER AVENUE**  
(A.K.A. OLD MANCHESTER ROAD)  
(80' WIDE R.O.W.)  
ADT: 8,000 (avg) (25 MPH)

**RADNOR STREET**  
(40' WIDE R.O.W.)

**BALTIMORE AVENUE**  
(A.K.A. WASHINGTON STREET)  
(A.K.A. S.R. 2016, L.R. #131)  
(70' WIDE R.O.W.)  
ADT: 16,173 (2012) (25 MPH)

**LEGEND**

- |   |                                |   |                            |
|---|--------------------------------|---|----------------------------|
| ▲ | EXISTING PARKING SPACE COURT   | ■ | PROPOSED TYPE 'M' INLET    |
| □ | EXISTING CONCRETE MONUMENT     | ■ | PROPOSED TYPE 'C' INLET    |
| ○ | EXISTING HOSE PIP              | ■ | PROPOSED YARD DRAIN        |
| ○ | EXISTING SANITARY MANHOLE      | ○ | PROPOSED MANHOLE           |
| ○ | EXISTING STORM SEWER MANHOLE   | ○ | PROPOSED CLEANOUT          |
| ○ | EXISTING WELLS                 | ○ | PROPOSED FIRE HYDRANT      |
| ○ | EXISTING ROOF DRAIN            | ○ | PROPOSED SIGN              |
| ○ | EXISTING CLEANOUT              | ○ | PROPOSED UTILITY POLE      |
| ○ | EXISTING GAS VALVE             | ○ | PROPOSED PARKING SPACES    |
| ○ | EXISTING WATER VALVE           | ○ | PROPOSED LIGHT POLE        |
| ○ | EXISTING UTILITY POLE          | ○ | PROPOSED CROSSWALK         |
| ○ | EXISTING UTILITY POLE W/ LIGHT | ○ | PROPOSED ADA SYMBOL        |
| ○ | EXISTING GAS METER             | ○ | PROPOSED CURB RAMP         |
| ○ | EXISTING AC UNIT               | ○ | PROPOSED CONCRETE SIDEWALK |
| ○ | EXISTING LIGHT POLE            | ○ | SOIL TYPE SYMBOL           |
| ○ | EXISTING SIGN                  | ○ | PROPOSED TRASH CAN         |
| ○ | CHAIN LINK FENCE               | ○ | PROPOSED BENCH             |
| ○ | DEPRESSED CURB                 | ○ | PROPOSED BIKE RACK         |
| ○ | EDGE OF PAVEMENT               | ○ |                            |
| ○ | LANDSCAPED AREA                | ○ |                            |

**LINE LEGEND**

- |     |                                 |     |  |
|-----|---------------------------------|-----|--|
| --- | EXISTING PROPERTY BOUNDARY      | --- | SITE                                     |
| --- | EXISTING LEGAL ROW              | --- | EXISTING ADJACENT PROPERTY LINE          |
| --- | EXISTING ZONING BOUNDARY        | --- | EXISTING EASEMENT                        |
| --- | EXISTING WETLANDS               | --- | EXISTING FLOODPLAIN                      |
| --- | EXISTING ULTIMATE ROW           | --- | PROPOSED PROPERTY BOUNDARY               |
| --- | PROPOSED SETBACK                | --- | EXISTING PROPERTY BOUNDARY TO BE REMOVED |
| --- | EXISTING OVERHEAD UTILITY WIRES | --- | EXISTING TREE LINE                       |
| --- | EXISTING BUILDING               | --- | EXISTING FENCE                           |
| --- | EXISTING RETAINING WALL         | --- | EXISTING CONCRETE CURB                   |
| --- | PROPOSED RETAINING WALL         | --- | PROPOSED GUDBERAL                        |
| --- | PROPOSED CHAIN LINK FENCE       | --- | PROPOSED POST & RAIL FENCE               |
| --- | PROPOSED TREE LINE              | --- | PROPOSED CONCRETE CURB                   |
| --- | EXISTING BUILDING TO BE REMOVED | --- | EXISTING CURB TO BE REMOVED              |
| --- | EXISTING CURB TO BE REMOVED     | --- | EXISTING RETAINING WALL TO BE REMOVED    |
| --- | EXISTING TREE LINE              |     |  |



**11,381 NON-PROTO REAR DRIVE-THRU**  
STORE NUMBER: 2173  
BALTIMORE PIKE & MANCHESTER AVENUE  
MEDA BOROUGH, DELAWARE COUNTY, PA  
PROJECT TYPE: RELO  
DEAL TYPE: FFS/LEASE  
CS PROJECT NUMBER: 80024

**ARCHITECT OF RECORD**

**BOHLER ENGINEERING**  
1600 MANOR DRIVE, SUITE 200  
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**DEVELOPER**

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TEL: 484-532-7830  
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**REVISIONS**

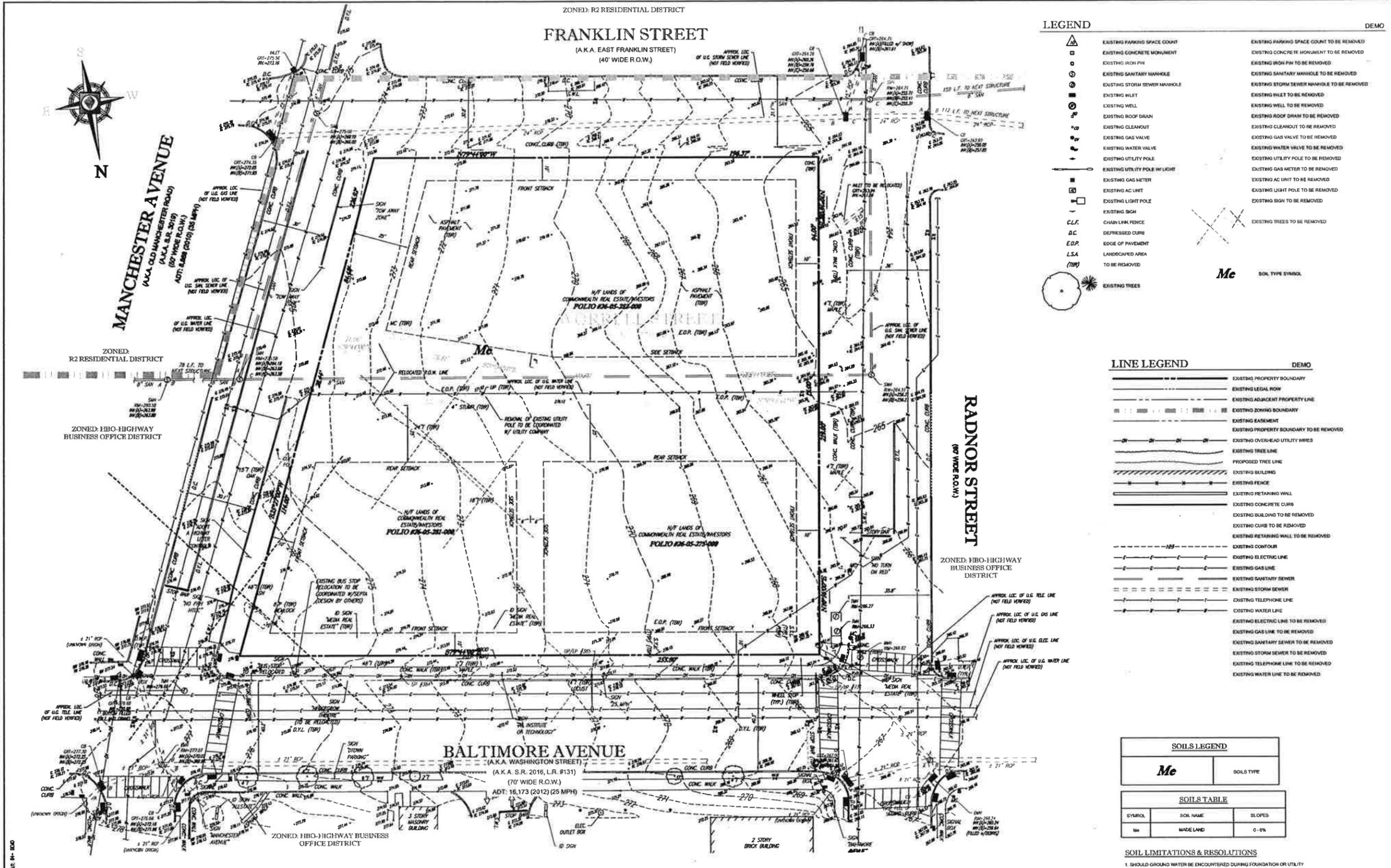
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01	01/17/2017	PER TOWNSHIP COMMENTS	D.J.B.
02	02/20/2017	PER DCCS COMMENTS	D.J.B.
03	04/03/2017	PER TOWNSHIP COMMENTS	D.J.B.

CHECKED BY: W.R.R.  
DRAWN BY: D.J.B.  
DATE: 11/14/2016  
JOB NUMBER: PC130124.01  
TITLE:

**SITE PLAN**

SHEET NUMBER:  
**3 OF 20**

COMMENTS:  
NOT FOR CONSTRUCTION



**LEGEND**

	EXISTING PARKING SPACE COUNT		EXISTING CONCRETE MONUMENT TO BE REMOVED
	EXISTING CONCRETE MONUMENT		EXISTING IRON PIN TO BE REMOVED
	EXISTING SANITARY MANHOLE		EXISTING STORM SEWER MANHOLE TO BE REMOVED
	EXISTING STORM SEWER MANHOLE		EXISTING INLET TO BE REMOVED
	EXISTING INLET		EXISTING WELL TO BE REMOVED
	EXISTING ROOF DRAIN		EXISTING ROOF DRAIN TO BE REMOVED
	EXISTING CLEANOUT		EXISTING CLEANOUT TO BE REMOVED
	EXISTING GAS VALVE		EXISTING GAS VALVE TO BE REMOVED
	EXISTING WATER VALVE		EXISTING WATER VALVE TO BE REMOVED
	EXISTING UTILITY POLE		EXISTING UTILITY POLE TO BE REMOVED
	EXISTING UTILITY POLE W/ LIGHT		EXISTING GAS METER TO BE REMOVED
	EXISTING GAS METER		EXISTING AC UNIT TO BE REMOVED
	EXISTING AC UNIT		EXISTING LIGHT POLE TO BE REMOVED
	EXISTING LIGHT POLE		EXISTING SIGN TO BE REMOVED
	EXISTING SIGN		EXISTING CHAIN LINK FENCE TO BE REMOVED
	DEPRESSED CURB		EDGE OF PAVEMENT
	EDGE OF PAVEMENT		LANDSCAPED AREA
	LANDSCAPED AREA		TO BE REMOVED
	EXISTING TREES		SOIL TYPE SYMBOL

**LINE LEGEND**

	EXISTING PROPERTY BOUNDARY		EXISTING LEGAL ROW
	EXISTING ADJACENT PROPERTY LINE		EXISTING ZONING BOUNDARY
	EXISTING EASEMENT		EXISTING PROPERTY BOUNDARY TO BE REMOVED
	EXISTING OVERHEAD UTILITY WIRES		EXISTING TREE LINE
	EXISTING TREE LINE		PROPOSED TREE LINE
	EXISTING BUILDING		EXISTING FENCE
	EXISTING FENCE		EXISTING RETAINING WALL
	EXISTING RETAINING WALL		EXISTING CONCRETE CURB
	EXISTING BUILDING TO BE REMOVED		EXISTING CURB TO BE REMOVED
	EXISTING CURB TO BE REMOVED		EXISTING RETAINING WALL TO BE REMOVED
	EXISTING CONTOUR		EXISTING ELECTRIC LINE
	EXISTING ELECTRIC LINE		EXISTING GAS LINE
	EXISTING GAS LINE		EXISTING SANITARY SEWER
	EXISTING STORM SEWER		EXISTING TELEPHONE LINE
	EXISTING TELEPHONE LINE		EXISTING WATER LINE
	EXISTING WATER LINE		EXISTING ELECTRIC LINE TO BE REMOVED
	EXISTING ELECTRIC LINE TO BE REMOVED		EXISTING GAS LINE TO BE REMOVED
	EXISTING GAS LINE TO BE REMOVED		EXISTING SANITARY SEWER TO BE REMOVED
	EXISTING STORM SEWER TO BE REMOVED		EXISTING TELEPHONE LINE TO BE REMOVED
	EXISTING TELEPHONE LINE TO BE REMOVED		EXISTING WATER LINE TO BE REMOVED

**SOILS LEGEND**

<i>Me</i>	SOILS TYPE
-----------	------------

**SOILS TABLE**

SYMBOL	SOIL NAME	SLOPES
<i>Me</i>	MADE LAND	0 - 6%

- SOIL LIMITATIONS & RESOLUTIONS**
1. SHOULD GROUND WATER BE ENCOUNTERED DURING FOUNDATION OR UTILITY EXCAVATIONS, WATER SHALL BE PUMPED FROM TRENCH INTO FILTER BAG.
  2. DUE TO DRAINAGE LIMITATIONS OF SOILS DURING WINTER MONTHS, THE CONTRACTOR SHALL NOT GRADE THESE SOILS DURING FROSTING OR ICING CONDITIONS.
  3. SHOULD BEDROCK BE ENCOUNTERED DURING FOUNDATION OR UTILITY EXCAVATION, ROCK SHALL BE REMOVED AND DISPOSED OF IN A LEGAL MANNER.
  4. SOIL TESTING SHOULD BE PERFORMED TO DETERMINE SOIL SUITABILITY FOR TOP SOIL. IF SOIL IS DETERMINED TO BE UNSUITABLE THEN TOPSOIL SHALL BE IMPORTED AND DISTRIBUTED THROUGHOUT THE SITE AS REQUIRED.

**UTILITIES:**

THE FOLLOWING COMPANIES WERE NOTIFIED BY PENNSYLVANIA ONE CALL SYSTEM, INC. (1-800-242-1778) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER: 20181970632

UTILITY COMPANY	PHONE NUMBER
AQUA PENNSYLVANIA, INC.	610-525-1400
AT & T	215-233-3434
COMCAST CABLEVISION	215-961-3800
MEDIA BOROUG	610-566-5210 x 249
PECO	215-941-4000
VERIZON	215-971-7000
ZAYO BANDWIDTH	610-974-5151

**WORRELL STREET LEASE NOTE**

WORRELL STREET, THE FEE INTEREST OF WHICH IS OWNED BY MEDIA BOROUG, IS BEING LEASED TO COMMONWEALTH REAL ESTATE INVESTORS, THE FEE OWNER OF THE ADJACENT PARCELS, IN CONNECTION WITH THE PROPOSED DEVELOPMENT. ACCORDINGLY, THE ENTIRE AREA SUBJECT TO THIS APPLICATION (I.E. THE AREA BOUNDED BY BALTIMORE AVENUE, RADNOR STREET, FRANKLIN STREET AND MANCHESTER AVENUE) IS BEING LEASED (OR SUBLEASED) TO THE APPLICANT, PENNSYLVANIA CVS PHARMACY, L.L.C. AND BEING TREATED AS ONE PARCEL FOR PURPOSES OF DETERMINING ZONING COMPLIANCE. ACCORDINGLY, WITH THE CONSENT OF MEDIA BOROUG, FOR PURPOSES OF DETERMINING SETBACKS, THE BOUNDARIES OF WORRELL STREET HAVE BEEN DISREGARDED.

**CVS pharmacy**

11,381 NON-PROTO REAR DRIVE-THRU

STORE NUMBER: 2173  
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MEDIA BOROUG, DELAWARE COUNTY, PA

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FAX : 484-532-7833

**W.R. REARDEN**

PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSING NO. P000008

**REVISIONS**

REV.	DATE	COMMENTS	BY:
01	01/17/2017	PER TOWNHIP COMMENTS	D.J.B.
02	02/20/2017	PER DCED COMMENTS	D.J.B.
03	04/03/2017	PER TOWNHIP COMMENTS	D.J.B.

CHECKED BY: W.R.R.  
DRAWN BY: D.J.B.

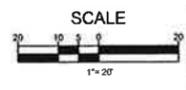
DATE: 11/14/2016

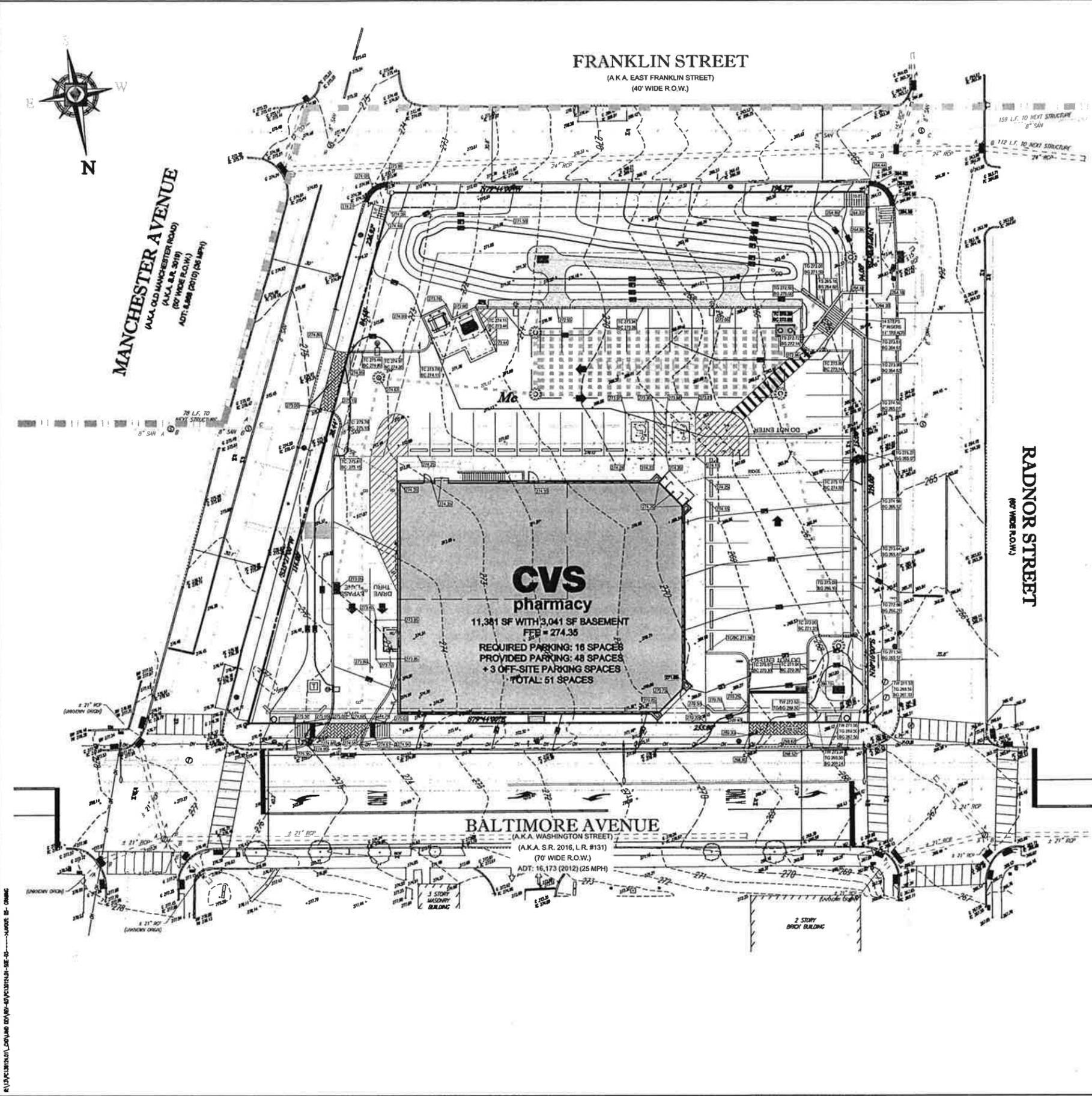
JOB NUMBER: PC130124.01

TITLE: EXISTING CONDITIONS/ DEMOLITION PLAN

SHEET NUMBER: 4 OF 20

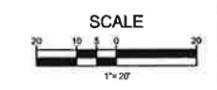
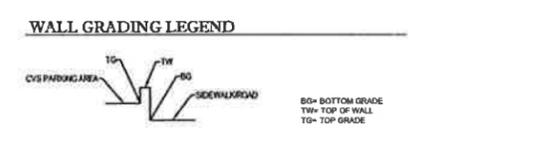
COMMENTS: NOT FOR CONSTRUCTION





- LEGEND**
- |   |                                |   |                            |
|---|--------------------------------|---|----------------------------|
| ▲ | EXISTING PARKING SPACE COUNT   | ■ | PROPOSED TYPE 'M' INLET    |
| □ | EXISTING CONCRETE MONUMENT     | ■ | PROPOSED TYPE 'C' INLET    |
| ○ | EXISTING IRON PIN              | ■ | PROPOSED YARD DRAIN        |
| ○ | EXISTING SANITARY MANHOLE      | ○ | PROPOSED MANHOLE           |
| ○ | EXISTING STORM SEWER MANHOLE   | ○ | PROPOSED ENDWALL           |
| ○ | EXISTING INLET                 | ○ | PROPOSED CLEANOUT          |
| ○ | EXISTING WALL                  | ○ | PROPOSED SIGN              |
| ○ | EXISTING ROOF DRAIN            | ○ | PROPOSED UTILITY POLE      |
| ○ | EXISTING CLEANOUT              | ○ | PROPOSED LIGHT POLE        |
| ○ | EXISTING GAS VALVE             | ○ | PROPOSED CROSSWALK         |
| ○ | EXISTING WATER VALVE           | ○ | PROPOSED ADA SYMBOL        |
| ○ | EXISTING UTILITY POLE          | ○ | PROPOSED CURB RAMP         |
| ○ | EXISTING UTILITY POLE W/ LIGHT | ○ | PROPOSED CONCRETE SIDEWALK |
| ○ | EXISTING GAS METER             | ○ | PROPOSED SPOT ELEVATIONS   |
| ○ | EXISTING AC UNIT               | ○ | PROPOSED CONCRETE CURB     |
| ○ | EXISTING LIGHT POLE            | ○ | PROPOSED ADA SYMBOL        |
| ○ | EXISTING SIGN                  | ○ | PROPOSED CONCRETE SIDEWALK |
| ○ | EXISTING SPOT ELEVATION        | ○ | PROPOSED CONCRETE CURB     |
| ○ | CHAIN LINK FENCE               | ○ | PROPOSED CONCRETE SIDEWALK |
| ○ | DEPRESSED CURB                 | ○ | PROPOSED CONCRETE CURB     |
| ○ | EDGE OF PAVEMENT               | ○ | PROPOSED CONCRETE CURB     |
| ○ | LANDSCAPED AREA                | ○ | PROPOSED CONCRETE CURB     |
| ○ | EXISTING TREES                 | ○ | PROPOSED CONCRETE CURB     |

- LINE LEGEND**
- |     |  |     |  |
|-----|--|-----|--|
| --- | EXISTING PROPERTY BOUNDARY                     | --- | EXISTING PROPERTY BOUNDARY TO BE REMOVED       |
| --- | EXISTING LEGAL ROW                             | --- | EXISTING OVERHEAD UTILITY WIRES                |
| --- | EXISTING ADJACENT PROPERTY LINE                | --- | EXISTING TREE LINE                             |
| --- | EXISTING ZONING BOUNDARY                       | --- | EXISTING BUILDING                              |
| --- | EXISTING EASEMENT                              | --- | EXISTING FENCE                                 |
| --- | EXISTING WETLANDS                              | --- | EXISTING RETAINING WALL                        |
| --- | EXISTING FLOODPLAIN                            | --- | EXISTING CONCRETE CURB                         |
| --- | PROPOSED ULTIMATE ROW                          | --- | PROPOSED RETAINING WALL                        |
| --- | PROPOSED PROPERTY BOUNDARY                     | --- | PROPOSED GUIDEPAL                              |
| --- | PROPOSED SETBACK                               | --- | PROPOSED CHAIN LINK FENCE                      |
| --- | EXISTING PROPERTY BOUNDARY TO BE REMOVED       | --- | PROPOSED POST & RAIL FENCE                     |
| --- | EXISTING OVERHEAD UTILITY WIRES                | --- | PROPOSED TREE LINE                             |
| --- | EXISTING TREE LINE                             | --- | PROPOSED CONCRETE CURB                         |
| --- | EXISTING BUILDING                              | --- | PROPOSED EDGE OF PAVEMENT                      |
| --- | EXISTING FENCE                                 | --- | EXISTING TREE LINE TO BE REMOVED               |
| --- | EXISTING RETAINING WALL                        | --- | EXISTING CONTOUR                               |
| --- | EXISTING CONCRETE CURB                         | --- | PROPOSED CONTOUR                               |
| --- | PROPOSED RETAINING WALL                        | --- | PROPOSED SAWCUT LINE                           |
| --- | PROPOSED GUIDEPAL                              | --- | EXISTING ELECTRIC LINE                         |
| --- | PROPOSED CHAIN LINK FENCE                      | --- | EXISTING GAS LINE                              |
| --- | PROPOSED POST & RAIL FENCE                     | --- | EXISTING SANITARY SEWER                        |
| --- | PROPOSED TREE LINE                             | --- | EXISTING STORM SEWER                           |
| --- | PROPOSED CONCRETE CURB                         | --- | EXISTING TELEPHONE LINE                        |
| --- | PROPOSED EDGE OF PAVEMENT                      | --- | EXISTING WATER LINE                            |
| --- | EXISTING TREE LINE TO BE REMOVED               | --- | PROPOSED ELECTRIC LINE                         |
| --- | EXISTING CONTOUR                               | --- | PROPOSED GAS LINE                              |
| --- | PROPOSED CONTOUR                               | --- | PROPOSED SANITARY SEWER                        |
| --- | PROPOSED SAWCUT LINE                           | --- | PROPOSED STORM SEWER                           |
| --- | EXISTING ELECTRIC LINE                         | --- | PROPOSED TELEPHONE LINE                        |
| --- | EXISTING GAS LINE                              | --- | PROPOSED UNDERGROUND ELECTRIC & TELEPHONE LINE |
| --- | EXISTING SANITARY SEWER                        | --- | PROPOSED WATER LINE                            |
| --- | EXISTING STORM SEWER                           | --- |  |
| --- | EXISTING TELEPHONE LINE                        | --- |  |
| --- | PROPOSED UNDERGROUND ELECTRIC & TELEPHONE LINE | --- |  |
| --- | PROPOSED WATER LINE                            | --- |  |



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 MEDIA BOROUGH, DELAWARE COUNTY, PA  
 PROJECT TYPE: RELO  
 DEAL TYPE: FFS/LEASE  
 CS PROJECT NUMBER: 80024

**ARCHITECT OF RECORD**  
  
 1600 MANOR DRIVE, SUITE 200  
 CHALFONT, PA 18914  
 PH: (215) 996-9100  
 FX: (215) 996-9102  
 www.bohlerengineering.com

**DEVELOPER**  
 SUMMIT REALTY ADVISORS, LLC  
 201 S. MAPLE AVENUE, SUITE 100  
 AMBLER, PA 19002  
 TEL : 484-532-7830  
 FAX : 484-532-7833

**W.R. REARDEN**  
 PROFESSIONAL ENGINEER  
 PENNSYLVANIA LICENSE NO. PE-000000

**REVISIONS**

REV.	DATE	COMMENTS	BY
01	01/17/2017	PER TOWNSHIP COMMENTS	D.J.B.
02	02/20/2017	PER DCED COMMENTS	D.J.B.
03	04/03/2017	PER TOWNSHIP COMMENTS	D.J.B.

CHECKED BY: W.R.R.  
 DRAWN BY: D.J.B.  
 DATE: 11/14/2016  
 JOB NUMBER: PC130124.01  
 TITLE:

**GRADING PLAN**  
 SHEET NUMBER:  
**5 OF 20**  
 COMMENTS:  
 NOT FOR CONSTRUCTION







**sitescapes** P.O. Box 22326 Lincoln, NE 68542 PF: 402/421-9464 FX: 402/421-9479 WEBSITE: www.sitescapesonline.com E-MAIL: info@sitescapesonline.com

**INDUSTRY TOLERANCES U.S.**  
FRACTION - 1/16" ANG - 1°

**THIS INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SITESCAPES, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SITESCAPES, INC. IS PROHIBITED.**

**TITLE:** APEX BIKE RACK  
**PRODUCT NO:** AP2-02-EM  
**FRACTION:** 1/16" ANG: 1°

**MATERIALS LIST:**  
(1) Tubing -  $\varnothing 2\ 3/8"$  x .154" Wall Steel Tubing

TOP VIEW  
FRONT VIEW  
RIGHT SIDE VIEW

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**INDUSTRY TOLERANCES U.S.**  
FRACTION - 1/16" ANG - 1°

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**TITLE:** CITYVIEW BACKED BENCH  
**PRODUCT NO:** CV1-1060  
**FRACTION:** 1/16" ANG: 1°

**MATERIALS LIST:**  
(1) Seat Straps - 5/16" x 1 1/2" Steel Flat Bar  
(2) Support Pipes -  $\varnothing 1.312"$  x .133" Steel Pipe  
(3) End Units - 1" Square Tubing 1/8" Thick  
(4) Surface Mount Plates - 1/4" x 1 1/2" Stainless Steel Plate with 9/16" Mounting Hole  
(5) Mounted with Four  $\varnothing 1/2"$  x 4-3" Stainless Steel Anchor Bolts (Customer Supplied)

TOP VIEW  
FRONT VIEW  
RIGHT SIDE VIEW

**sitescapes** P.O. Box 22326 Lincoln, NE 68542 PF: 402/421-9464 FX: 402/421-9479 WEBSITE: www.sitescapesonline.com E-MAIL: info@sitescapesonline.com

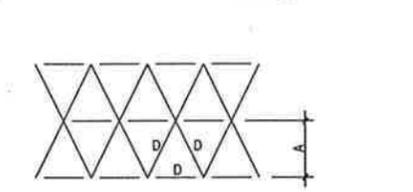
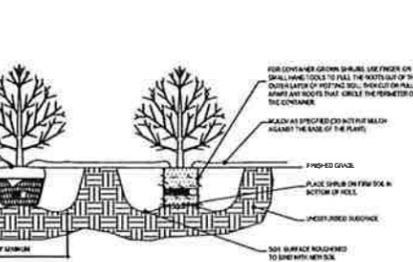
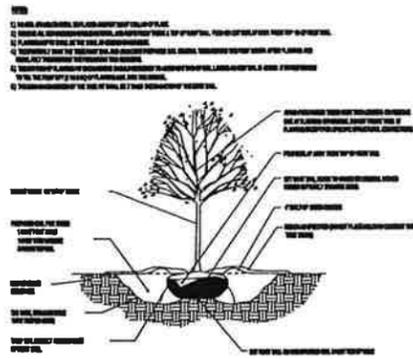
**INDUSTRY TOLERANCES U.S.**  
FRACTION - 1/16" ANG - 1°

**THIS INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SITESCAPES, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SITESCAPES, INC. IS PROHIBITED.**

**TITLE:** CITYVIEW TRASH RECEPTACLE  
**PRODUCT NO:** CV2-2101  
**FRACTION:** 1/16" ANG: 1°

**MATERIALS LIST:**  
(1) Vertical Straps - 5/16" x 1 1/2" Steel Flat Bar  
(2) Top Ring -  $\varnothing 3/8"$  Steel Round Bar  
(3) Support Rings - 1/4" x 2" Steel Flat Bar  
(4) Support Bars - 1/2" x 1" Steel Flat Bar  
(5) Surface Mount Plates - 1/4" x 1 1/2" Stainless Steel Plate with 9/16" Mounting Hole  
(6) Lid -  $\varnothing 24"$  x .025" Wall Steel Lid Attached to Basket with Stainless Steel Airline Cable  
(7) Dome -  $\varnothing 16"$  x .105" Wall Steel Dome  
(8) Hinged Door With Stainless Steel Latch and Hinges  
(9) Mounted with Three  $\varnothing 1/2"$  x 4-5" Stainless Steel Anchor Bolts (Customer Supplied)  
(10) 36 Gallon Rigid Plastic Liner with Handles Included

TOP VIEW  
FRONT VIEW  
BOTTOM VIEW MOUNTING DETAIL  
INSIDE LATCH DETAIL



**LANDSCAPE SPECIFICATIONS:**

**1. SITE PREP:**  
A. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL CLEARING, TRIMMING, GRADING, AND EXCAVATION WORK NECESSARY TO PREPARE THE SITE FOR PLANTING. ALL EXISTING UTILITIES SHALL BE IDENTIFIED AND PROTECTED PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES PRIOR TO THE START OF WORK.

**2. PLANTING:**  
A. ALL PLANTING MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF REVENUE'S PLANTING SPECIFICATIONS.  
B. PLANTING MATERIALS SHALL BE STORED IN A SHADY, WELL-VENTILATED AREA PROTECTED FROM DIRECT SUNLIGHT AND EXTREME WEATHER. PLANTS SHALL BE WATERED REGULARLY TO MAINTAIN MOISTURE LEVELS.  
C. PLANTS SHALL BE PLANTED AT THE CORRECT DEPTH AND SPACING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES PRIOR TO THE START OF WORK.  
D. PLANTS SHALL BE PLANTED AT THE CORRECT DEPTH AND SPACING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES PRIOR TO THE START OF WORK.

**3. MAINTENANCE:**  
A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANTS FOR A PERIOD OF 12 MONTHS AFTER PLANTING. THIS INCLUDES WATERING, FERTILIZING, AND PRUNING AS NECESSARY TO MAINTAIN THE HEALTH AND APPEARANCE OF THE PLANTS.  
B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY PLANTS THAT DIE OR BECOME UNHEALTHY DURING THE MAINTENANCE PERIOD.  
C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANTS FOR A PERIOD OF 12 MONTHS AFTER PLANTING. THIS INCLUDES WATERING, FERTILIZING, AND PRUNING AS NECESSARY TO MAINTAIN THE HEALTH AND APPEARANCE OF THE PLANTS.

**CVS pharmacy**

11,381 NON-PROTO REAR DRIVE-THRU

STORE NUMBER: 2173  
BALTIMORE PIKE & MANCHESTER AVENUE  
MEDIA BOROUGH, DELAWARE COUNTY, PA

PROJECT TYPE: RELO  
DEAL TYPE: FFS/LEASE

CS PROJECT NUMBER: 60024

**ARCHITECT OF RECORD**

**BOHLER ENGINEERING**

1600 MANOR DRIVE, SUITE 200  
CHALFONT, PA 18914  
PH: (215) 996-9100  
FX: (215) 996-9102  
www.bohlereengineering.com

**DEVELOPER**

**SUMMIT REALTY ADVISORS, LLC**  
201 S. MAPLE AVENUE, SUITE 100  
AMBLER, PA 19002

TEL : 484-532-7830  
FAX : 484-532-7833

**D.T. NORTH**

REGISTERED LANDSCAPE ARCHITECT  
PENN. LICENSE NO. LA000270

**REVISIONS**

REV.	DATE	COMMENT	BY
01	01/17/2017	PER TOWNHIP COMMENTS	D.J.B.
02	02/26/2017	PER TOWNHIP COMMENTS	D.J.B.
03	04/03/2017	PER TOWNHIP COMMENTS	D.J.B.

CHECKED BY: W.R.R.  
DRAWN BY: D.J.B.  
DATE: 11/14/2016  
JOB NUMBER: PC130124.01  
TITLE: LANDSCAPE DETAILS  
SHEET NUMBER: 9 OF 20  
COMMENTS: NOT FOR CONSTRUCTION

**CVS**  
pharmacy

11,381 NON-PROTO  
REAR DRIVE-THRU

STORE NUMBER: 2173

BALTIMORE PIKE & MANCHESTER AVENUE  
MEDIA BOROUGH, DELAWARE COUNTY, PA

PROJECT TYPE: RELO  
DEAL TYPE: FFS/LEASE

CS PROJECT NUMBER: 80024

ARCHITECT OF RECORD

**BOHLER**  
ENGINEERING

1600 MANOR DRIVE, SUITE 200  
CHALFONT, PA 18914  
PH: (215) 996-8100  
FX: (215) 996-8102  
www.bohlerengineering.com

DEVELOPER

SUMMIT REALTY ADVISORS, LLC  
201 S. MAPLE AVENUE, SUITE 100  
AMBLER, PA 19002

TEL : 484-532-7830  
FAX : 484-532-7833

**D.T. NORTH**

REGISTERED LANDSCAPE ARCHITECT  
PENNSYLVANIA LICENSE NO. LA000720

REVISIONS

REV.	DATE	COMMENTS	BY
01	01/17/2017	PER TOWNSHIP COMMENTS	D.J.B.
02	02/20/2017	PER OGD COMMENTS	D.J.B.
03	04/03/2017	PER TOWNSHIP COMMENTS	D.J.B.

CHECKED BY: W.R.R.

DRAWN BY: D.J.B.

DATE: 11/14/2016

JOB NUMBER: PC130124.01

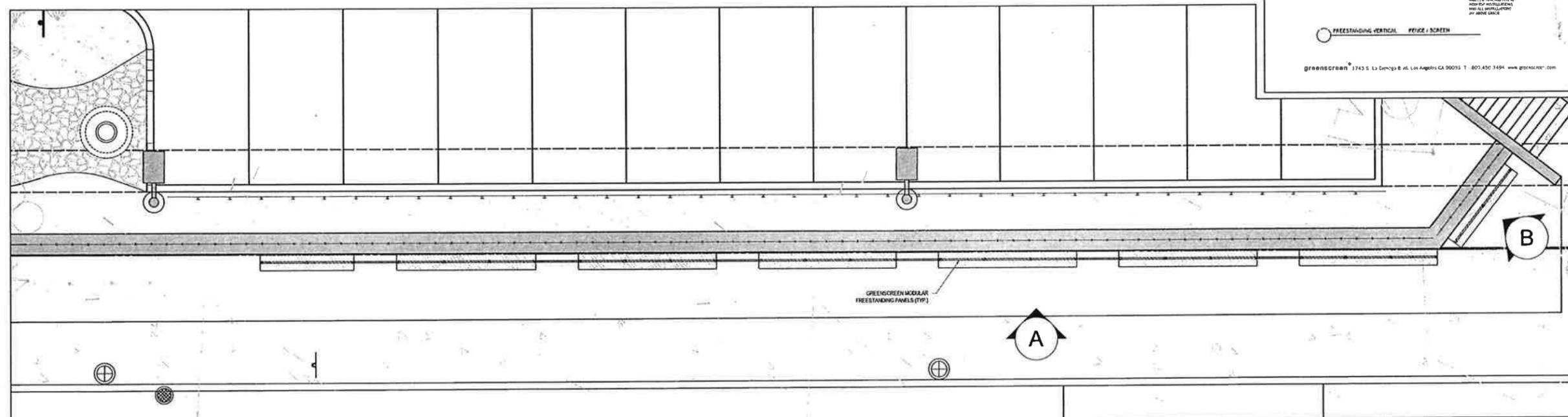
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LANDSCAPE DETAILS

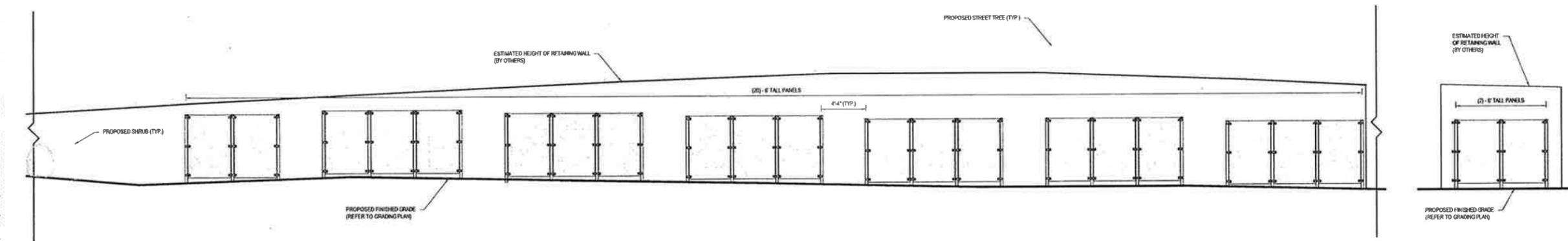
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10 OF 20

COMMENTS:  
NOT FOR CONSTRUCTION



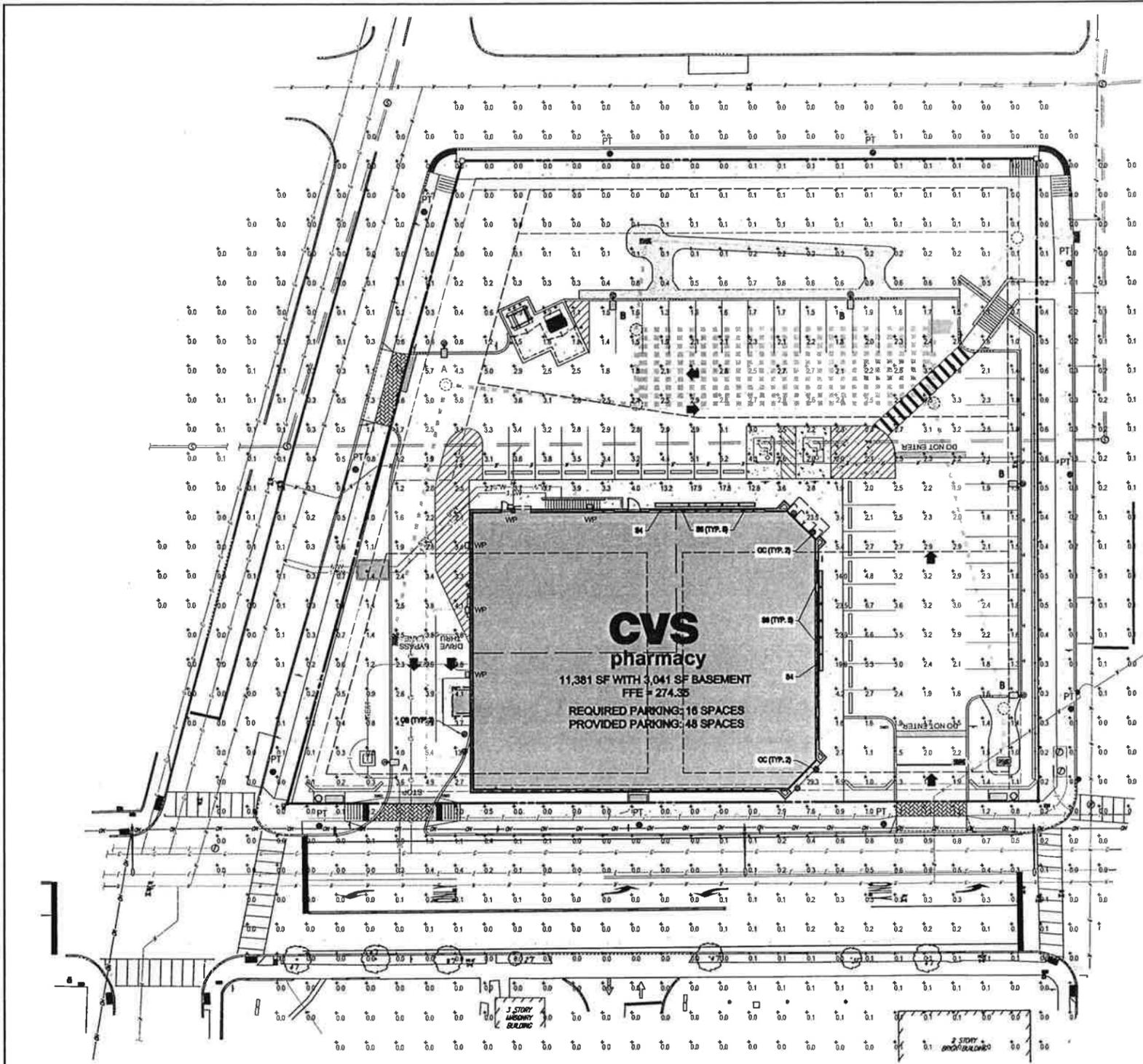
3 RADNOR STREET PLAN  
SCALE: 1"=3'-0"



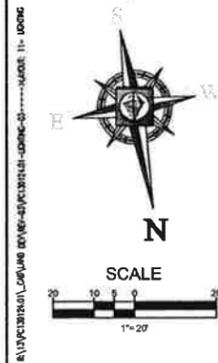
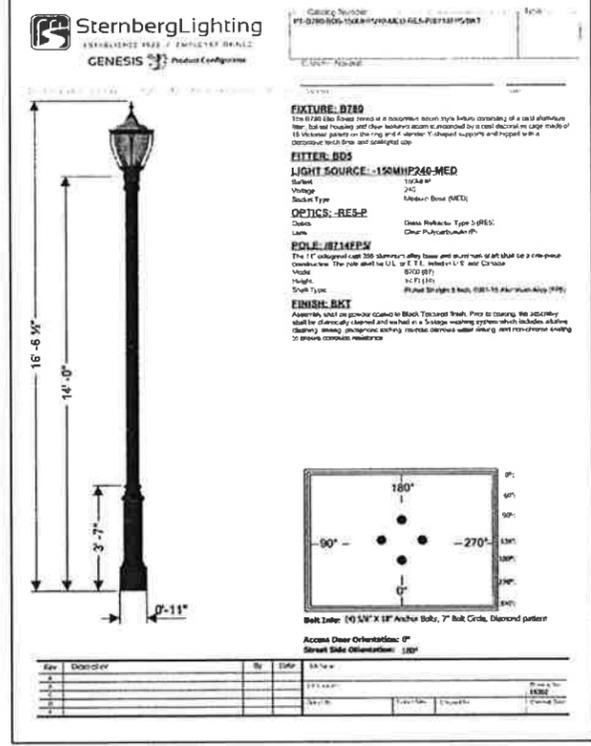
1 RADNOR STREET ELEVATION - A  
SCALE: 1"=3'-0"

2 RADNOR STREET ELEVATION - B  
SCALE: 1"=3'-0"

S:\Projects\1600 Manor Drive\1600 Manor Drive\1600 Manor Drive.dwg - 11/14/2016 10:00:00 AM - User: dtnorth



- GENERAL LIGHTING NOTES**
- THIS PLAN IS TO BE UTILIZED FOR LIGHTING PURPOSES ONLY. REFER TO ELECTRICAL ENGINEERING PLANS FOR CIRCUITRY DESIGN AND SPECIFICATIONS.
  - LIGHTING PLAN WAS PREPARED BY: HUBBELL LIGHTING, INC. 701 HUBBELL PARKWAY GREENVILLE, SOUTH CAROLINA 29607 DRAWING NUMBER 180608
  - PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PROVIDE SUBSTANTIATED TO THE PROJECT ENGINEER (BOHLER) FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE FIXTURES IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.
  - THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
  - THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOT-CANDELES.
  - THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES AND RELAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES FUNCTION IMPROPERLY.
  - THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
  - CONTRACTOR MUST BRING TO THE DESIGNER'S ATTENTION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
  - THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
  - UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.

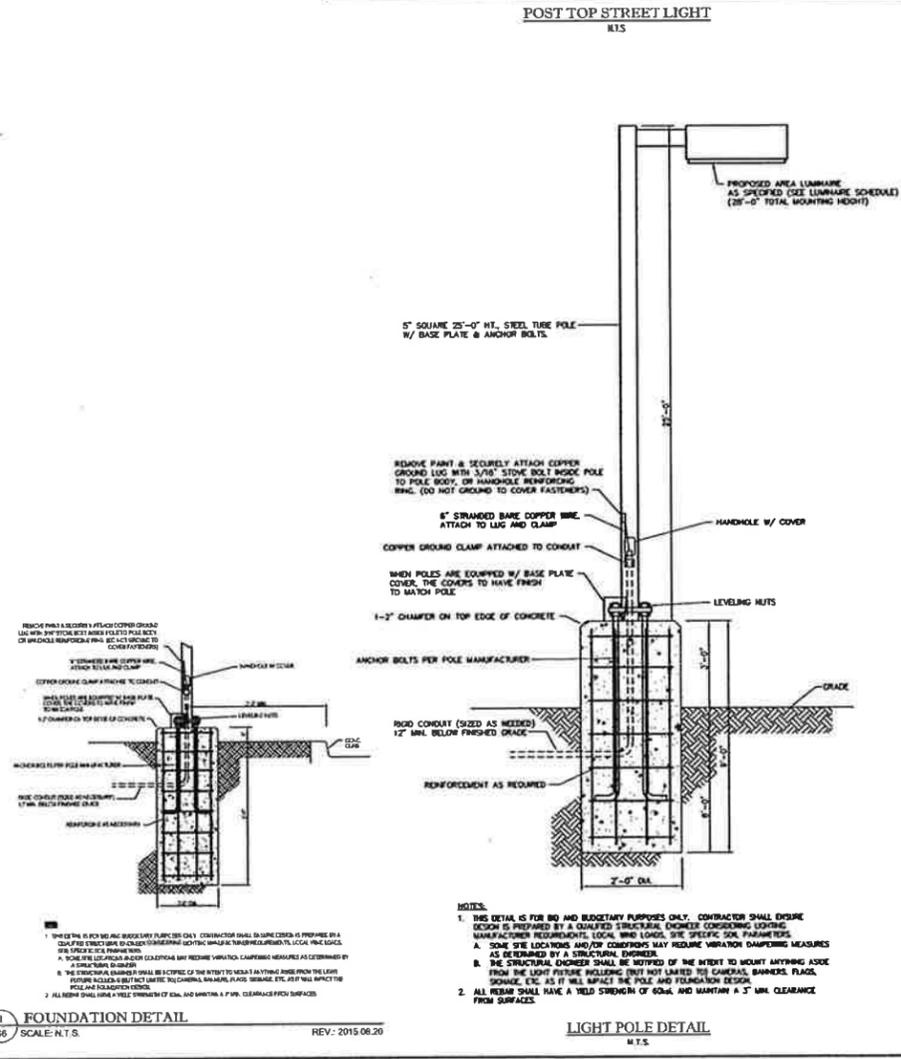


**LUMINAIRE SCHEDULE**

LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	LUMENS	LLF	BUG RATING	DESCRIPTION
A	2	28'-0" AFG	SINGLE	6318	0.903	1-0-2	HUBBELL SPAULDING LIGHTING, CIMMARON LED LUMINAIRE, 30 LEDS, TYPE IV WITH BACKLIGHT CONTROL (CL1-A-30L-x-3K-4-PS-BC)
B	4	28'-0" AFG	SINGLE	12992	0.903	2-0-3	HUBBELL SPAULDING LIGHTING, CIMMARON LED LUMINAIRE, 60 LEDS, TYPE IV WITH BACKLIGHT CONTROL (CL1-A-60L-x-3K-4-PS-BC)
OB	2	8'-0" AFF	SINGLE	1130	0.903	-	LF ILLUMINATION, BULLET OUTDOOR RECESSED DOWNLIGHT MEDIUM BEAM (S11-15A-T-30L-6030-M-02-x-SS)
OC	4	11'-6" AFF	SINGLE	3130	0.903	3-0-0	ACQUITYSTAM ARCHITECTURAL DOWNLIGHTING, LED DOWNLIGHTS, MEDIUM WIDE BEAM (EVO-3030-6A-MWD-LSS-x-E2)
SA	2	12'-0" AFF	GROUP	N.A.	0.903	5-1-0	SOLID STATE LUMINAIRES w/COVERLINE XL WET LUMINAIRE (EVALUJET-4-x-3K-3000)
S6	10	12'-0" AFF	GROUP	N.A.	0.903	5-1-0	SOLID STATE LUMINAIRES w/COVERLINE XL WET LUMINAIRE (EVALUJET-4-x-3K-3000)
WP	5	12'-0" AFF	SINGLE	3674	0.903	1-0-1	LITHONIA LIGHTING, D-SERIES SIZE 1 LED WALL LUMINAIRE, FORWARD THROW MEDIUM (DSXW1 LED 10C-1000-30K-TFM-x-05LX)
PT	11	14'-0" AFG	SINGLE	-	-	-	STERNBERG LIGHTING, B780 8LM STREET SERIES LUMINAIRE, POST TOP FIXTURE (PT-B780-80S-150WHP246-MED-RES-BKT) (POLE: #8714F5-BKT) (NOT MODELLED IN PHOTOMETRIC PLAN)

**FOOTCANDLE CALCULATION SUMMARY**

LABEL	AVG	MAX	MIN	AVGMIN	MAXMIN
ALL POINTS	0.85	29.3	0.0	N.A.	N.A.
CVS PARKING	2.53	6.7	1.1	2.30	6.09



**CVS pharmacy**  
 11,381 NON-PROTO  
 REAR DRIVE-THRU  
 STORE NUMBER: 2173  
 BALTIMORE PIKE & MANCHESTER AVENUE  
 MEDIA BOROUGH, DELAWARE COUNTY, PA  
 PROJECT TYPE: RELO  
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**ARCHITECT OF RECORD**  
**BOHLER ENGINEERING**  
 1600 MANOR DRIVE, SUITE 200  
 CHALFONT, PA 18814  
 PH: (215) 996-9100  
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**DEVELOPER**  
 SUMMIT REALTY ADVISORS, LLC  
 201 S. MAPLE AVENUE, SUITE 100  
 AMBLER, PA 19002  
 TEL: 484-532-7830  
 FAX: 484-532-7833

**D.T. NORTH**  
 REGISTERED LANDSCAPE ARCHITECT  
 PENNSYLVANIA LICENSE # 001108728

**REVISIONS**

REV.	DATE	COMMENTS	BY:
01	01/17/2017	PER TORRISHP COMMENTS	D.J.B.
02	02/20/2017	PER DCCD COMMENTS	D.J.B.
03	04/13/2017	PER TORRISHP COMMENTS	D.J.B.

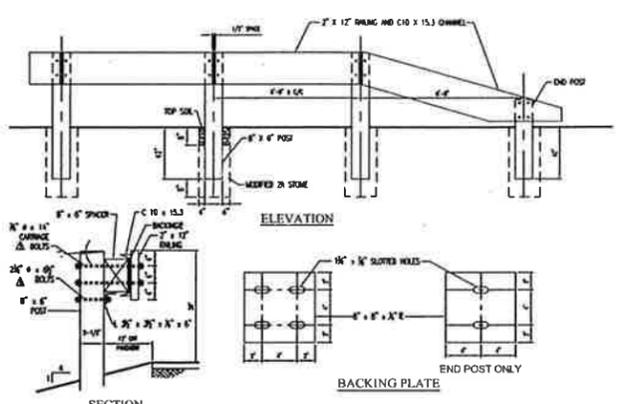
CHECKED BY: W.R.R.  
 DRAWN BY: D.J.B.  
 DATE: 11/14/2016  
 JOB NUMBER: PC130124.01  
 TITLE: LIGHTING PLAN

SHEET NUMBER:  
**11 OF 20**  
 COMMENTS:  
 NOT FOR CONSTRUCTION

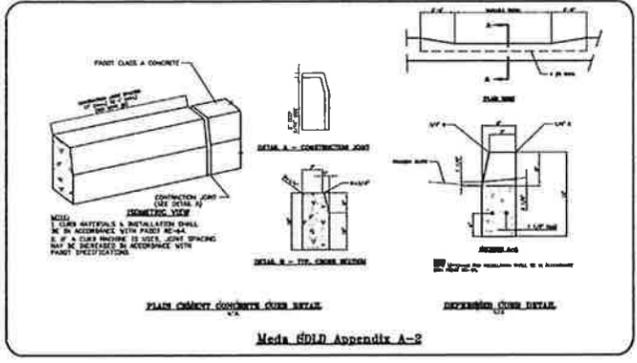




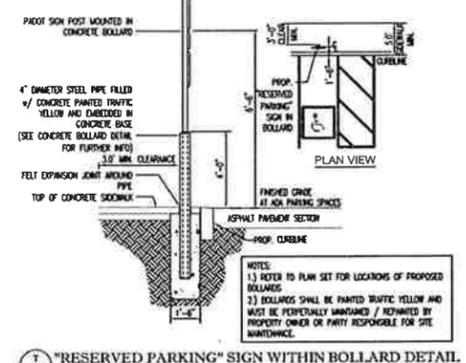




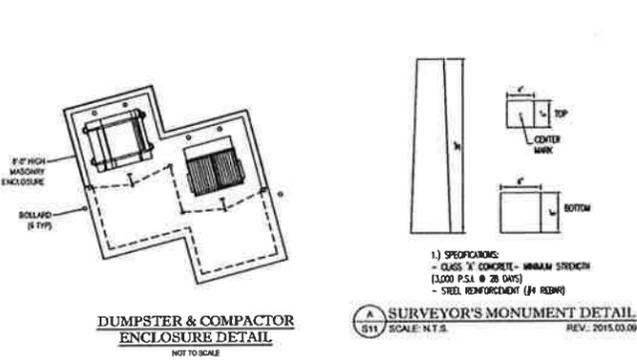
**A WOODEN GUIDE RAIL DETAIL**  
SCALE: N.T.S. REV. 2015.03.09



**MEDIA BOROUGH TYPICAL CONCRETE CURB DETAIL**  
SCALE: N.T.S.



**'RESERVED PARKING' SIGN WITH BOLLARD DETAIL**  
SCALE: N.T.S. REV. 2015.03.09



**DUMPSTER & COMPACTOR ENCLOSURE DETAIL**  
SCALE: N.T.S. REV. 2015.03.09



**TRUCK ROUTE SIGN DETAIL**  
SCALE: N.T.S.



**STRAIGHT DIRECTIONAL ARROW SIGN**  
SCALE: N.T.S.



**WHITE PAINTED STOP BAR & 'STOP' LETTERING DETAIL**  
SCALE: N.T.S. REV. 2015.03.09



**WHITE PAINTED TRAFFIC ARROW DETAIL**  
SCALE: N.T.S. REV. 2015.03.09



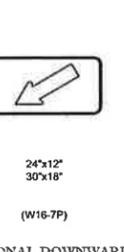
**DO NOT ENTER SIGN**  
SCALE: N.T.S.



**STOP SIGN**  
SCALE: N.T.S.



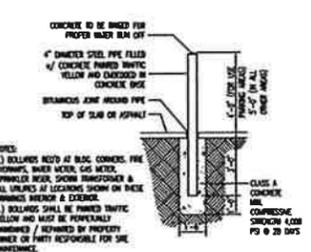
**PEDESTRIAN CROSSING SIGN**  
SCALE: N.T.S.



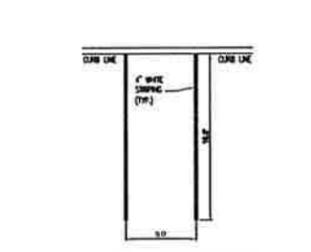
**DIAGONAL DOWNWARD POINTING ARROW**  
SCALE: N.T.S.



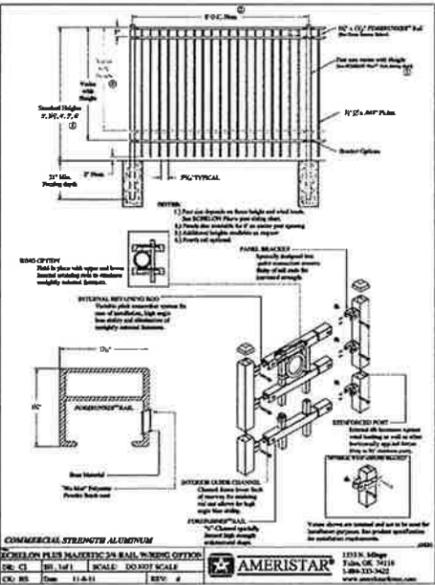
**RIGHT TURN SIGN**  
SCALE: N.T.S.



**BOLLARD DETAIL**  
SCALE: N.T.S. REV. 2015.03.09

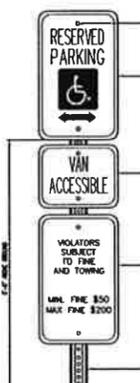


**TYPICAL PARKING SPACE STRIPING DETAIL**  
SCALE: N.T.S.



**ADA ACCESSIBLE PARKING SPACE STRIPING (2 SPACES)**  
SCALE: N.T.S. REV. 2015.03.09

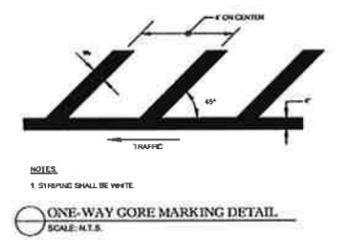
**TAPERED CURB DETAIL**  
SCALE: N.T.S. REV. 2015.03.09



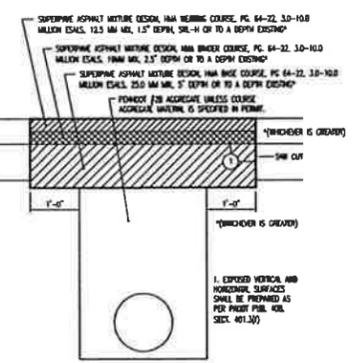
**RESERVED PARKING SPACE w/ PENALTIES & VAN ACCESSIBLE SIGNS**  
SCALE: N.T.S. REV. 2015.03.09



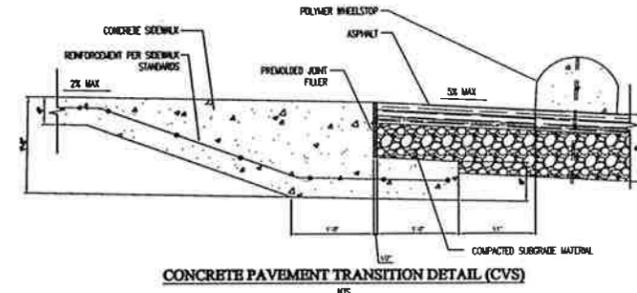
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SCALE: N.T.S.



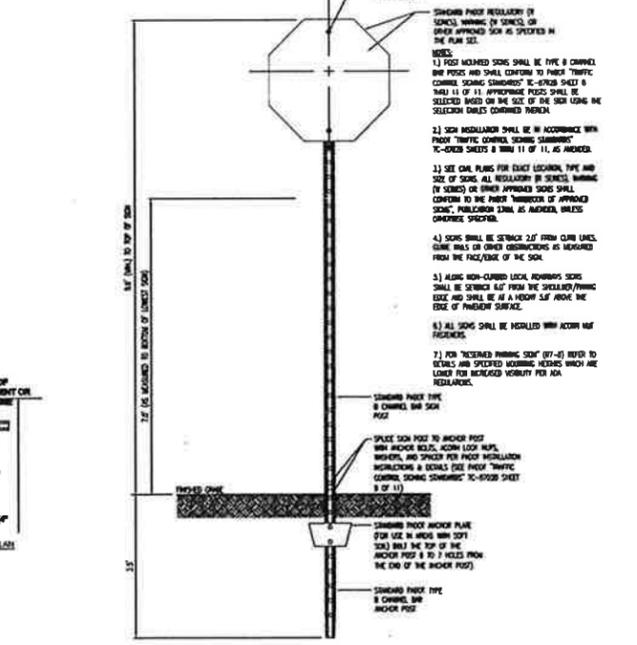
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SCALE: N.T.S.



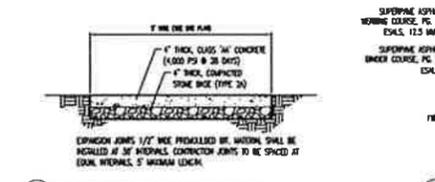
**FLEXIBLE PAVEMENT RESTORATION**  
SCALE: N.T.S. REV. 2015.03.09



**CONCRETE PAVEMENT TRANSITION DETAIL (CVS)**  
SCALE: N.T.S.



**STANDARD POLE MOUNTED SIGN INSTALLATION DETAIL**  
SCALE: N.T.S. REV. 2015.03.09



**CONCRETE SIDEWALK DETAIL**  
SCALE: N.T.S. REV. 2015.03.09

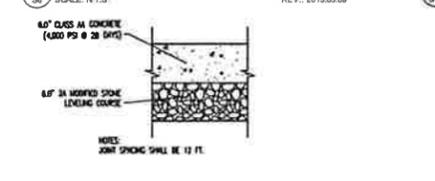
**STANDARD ASPHALT PAVEMENT DETAIL**  
SCALE: N.T.S. REV. 2015.03.09



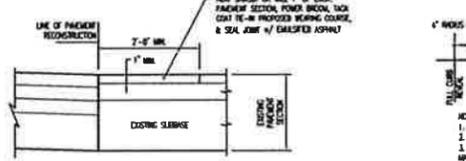
**CONCRETE DRIVEWAY APRON DETAIL**  
SCALE: N.T.S. REV. 2015.03.09



**POLYMER WHEEL STOP (CVS)**  
SCALE: N.T.S. REV. 2015.03.09



**CONCRETE PAVEMENT DETAIL**  
SCALE: N.T.S. REV. 2015.03.09



**PAVEMENT TIE-IN DETAIL**  
SCALE: N.T.S. REV. 2015.03.09

**CVS pharmacy**

11,381 NON-PROTO REAR DRIVE-THRU  
STORE NUMBER: 2173  
BALTIMORE PIKE & MANCHESTER AVENUE  
MEDIA BOROUGH, DELAWARE COUNTY, PA  
PROJECT TYPE: RELO  
DEAL TYPE: FFS/LEASE  
CS PROJECT NUMBER: 80024

ARCHITECT OF RECORD

**BOHLER ENGINEERING**  
1600 MANOR DRIVE, SUITE 200  
CHALFONT, PA 18914  
PH: (215) 996-9100  
FX: (215) 996-9102  
www.bohlerengineering.com

DEVELOPER  
SUMMIT REALTY ADVISORS, LLC  
201 S. MAPLE AVENUE, SUITE 100  
AMBLER, PA 19002  
TEL: 484-532-7830  
FAX: 484-532-7833

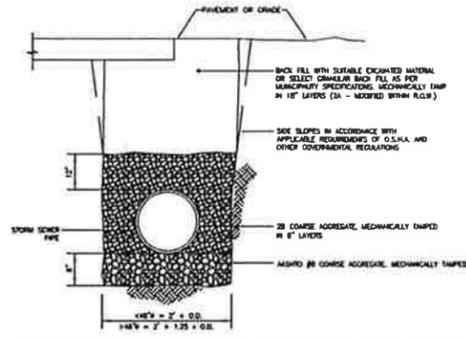
**W.R. REARDEN**  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 1007200

REVISIONS

REV.	DATE	COMMENT	BY
01	01/17/2017	PER TOWNSHIP COMMENTS	D.J.B.
02	02/20/2017	PER DCDC COMMENTS	D.J.B.
03	04/12/2017	PER TOWNSHIP COMMENTS	D.J.B.

CHECKED BY: W.R.R.  
DRAWN BY: D.J.B.  
DATE: 11/14/2016  
JOB NUMBER: PC130124.01  
TITLE:

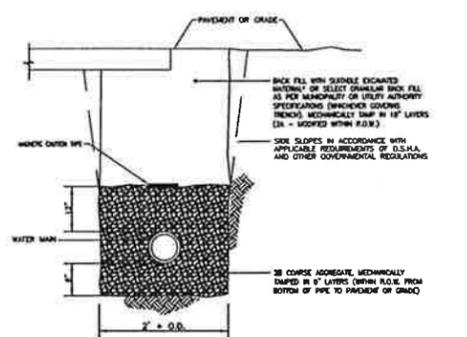
DETAILS  
SHEET NUMBER:  
**15 OF 20**  
COMMENTS:  
NOT FOR CONSTRUCTION



EXCAVATIONS IN EXISTING PAVED ROADWAYS SHALL BE COORDINATED WITH THE LOCAL PERMITTING AGENCY, AND ALL EXCAVATION SHALL BE PAVED WITH TEMPORARY BITUMINOUS PAVEMENT FROM THE DATE OF ORIGINAL EXCAVATION UNTIL PERMANENT PAVEMENT IS INSTALLED. (MINIMUM = 90 DAYS, MAXIMUM = 120 DAYS)

THIS DETAIL IS NOT FOR USE WITHIN A STATE RIGHT-OF-WAY. REFER TO THE LATEST APPROVED DOT SPECIFICATIONS FOR TRENCH BEDDING WITHIN A STATE RIGHT-OF-WAY.

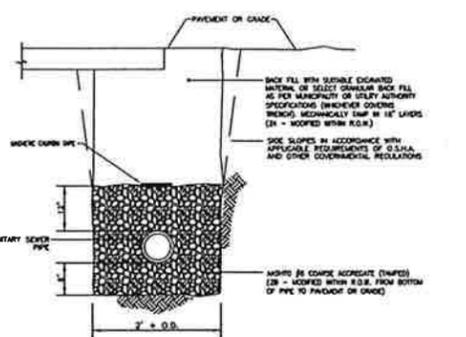
**TRENCH BEDDING CLASSIFICATION (STORM)**  
SCALE: N.T.S. REV: 2015.03.09



EXCAVATIONS IN EXISTING PAVED ROADWAYS SHALL BE COORDINATED WITH THE LOCAL PERMITTING AGENCY, AND ALL EXCAVATION SHALL BE PAVED WITH TEMPORARY BITUMINOUS PAVEMENT FROM THE DATE OF ORIGINAL EXCAVATION UNTIL PERMANENT PAVEMENT IS INSTALLED. (MINIMUM = 90 DAYS, MAXIMUM = 120 DAYS)

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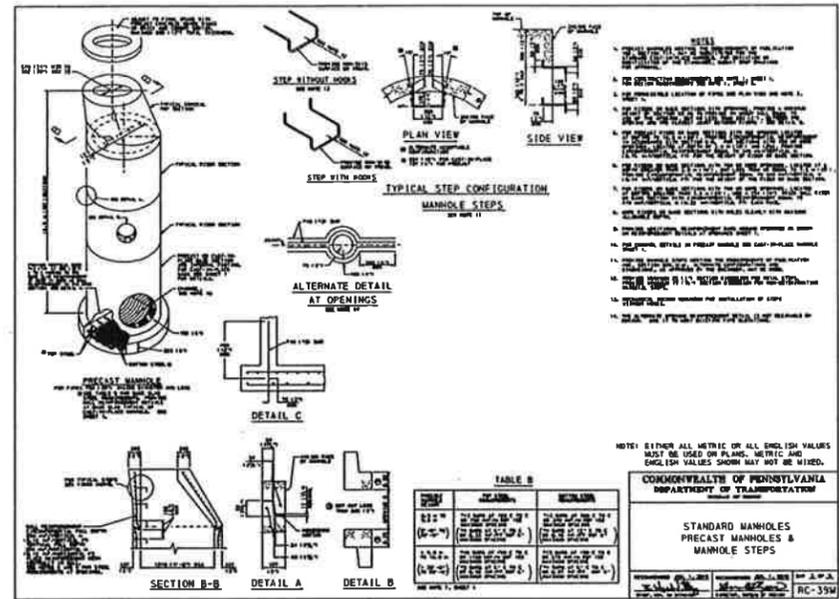
**TRENCH BEDDING CLASSIFICATION (WATER MAIN)**  
SCALE: N.T.S. REV: 2015.03.09



EXCAVATIONS IN EXISTING PAVED ROADWAYS SHALL BE COORDINATED WITH THE LOCAL PERMITTING AGENCY, AND ALL EXCAVATION SHALL BE PAVED WITH TEMPORARY BITUMINOUS PAVEMENT FROM THE DATE OF ORIGINAL EXCAVATION UNTIL PERMANENT PAVEMENT IS INSTALLED. (MINIMUM = 90 DAYS, MAXIMUM = 120 DAYS)

THIS DETAIL IS NOT FOR USE WITHIN A STATE RIGHT-OF-WAY. REFER TO THE LATEST APPROVED DOT SPECIFICATIONS FOR TRENCH BEDDING WITHIN A STATE RIGHT-OF-WAY.

**TRENCH BEDDING CLASSIFICATION (SANITARY MAIN)**  
SCALE: N.T.S. REV: 2015.03.09

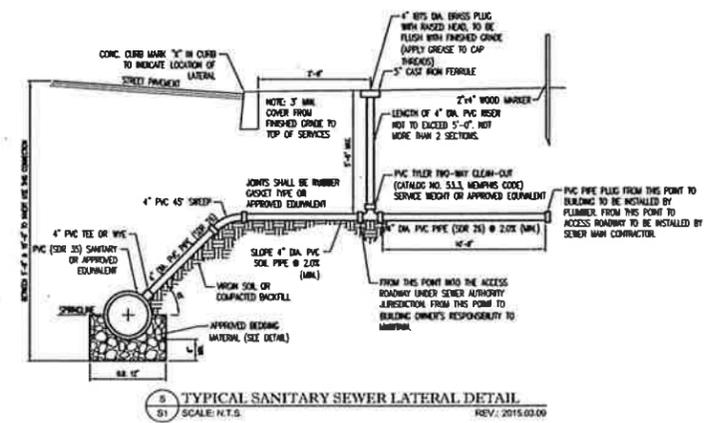


NOTE: 1) IF NOT ALL METRIC OR ALL ENGLISH VALUES MUST BE USED ON PLANS. METRIC AND ENGLISH VALUES SHOWN MAY NOT BE MATHED.

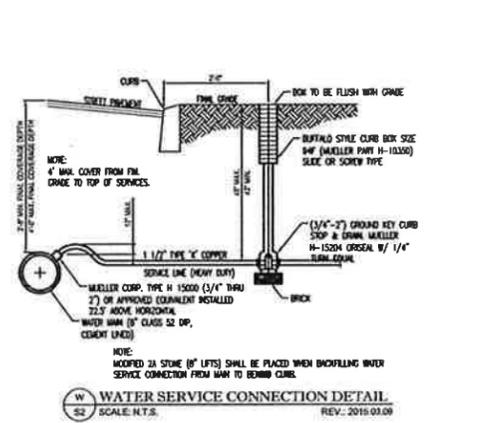
COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF TRANSPORTATION

STANDARD MANHOLES  
PRECAST MANHOLES &  
MANHOLE STEPS

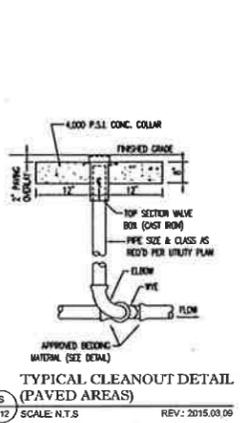
RC-35M



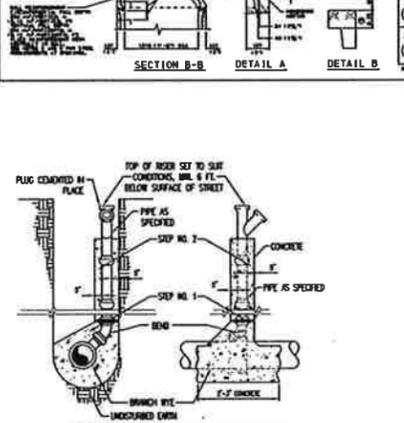
**TYPICAL SANITARY SEWER LATERAL DETAIL**  
SCALE: N.T.S. REV: 2015.03.09



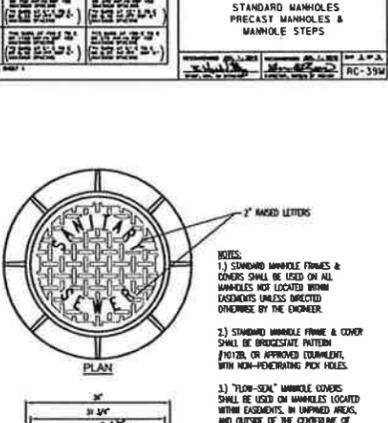
**WATER SERVICE CONNECTION DETAIL**  
SCALE: N.T.S. REV: 2015.03.09



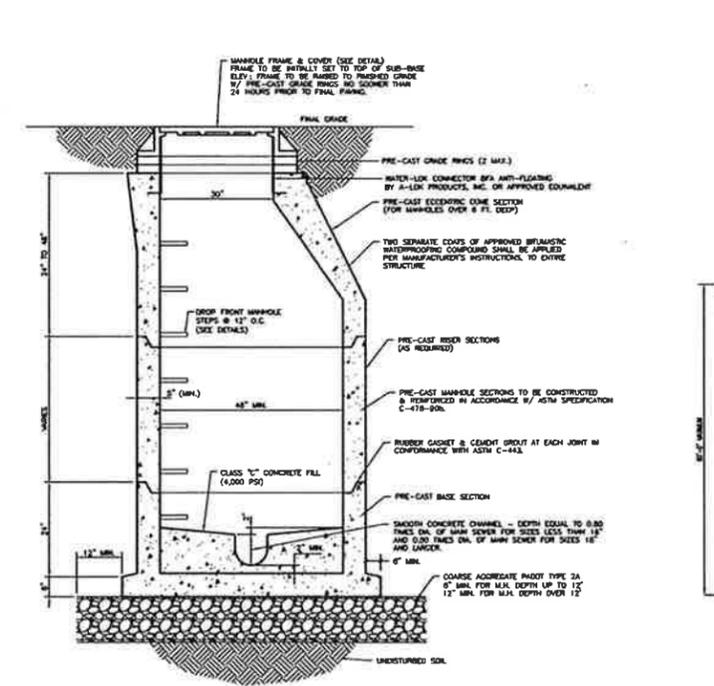
**TYPICAL CLEANOUT DETAIL (PAVED AREAS)**  
SCALE: N.T.S. REV: 2015.03.09



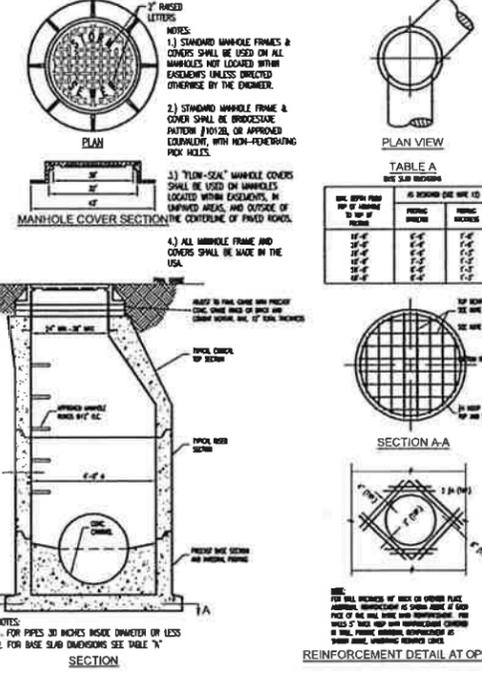
**DEEP CUT LATERAL DETAIL**  
SCALE: N.T.S. REV: 2015.03.09



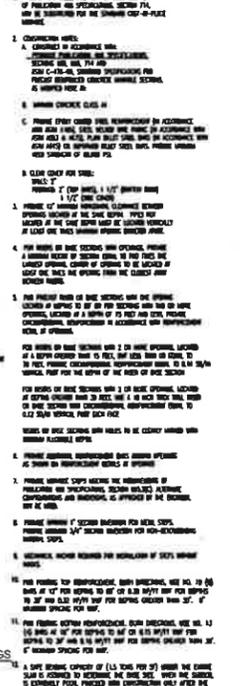
**MANHOLE FRAME DETAIL**  
SCALE: N.T.S. REV: 2015.03.09



**PRECAST SANITARY MANHOLE DETAILS**  
SCALE: N.T.S. REV: 2015.03.09



**PRECAST STORM MANHOLE DETAILS**  
SCALE: N.T.S. REV: 2015.03.09



**REINFORCEMENT DETAIL AT OPENINGS**  
SCALE: N.T.S. REV: 2015.03.09

**LIST OF APPLICABLE PADOT DETAILS**

SIGNAGE: PA D.Q.T. PUBLICATION 226  
([http://dot.state.pa.us/public/subsystems/Publications/PUB%20226MSign%20Index%20for%20Change%201%20-%202011-13%20\(nominaldate\).pdf](http://dot.state.pa.us/public/subsystems/Publications/PUB%20226MSign%20Index%20for%20Change%201%20-%202011-13%20(nominaldate).pdf))

"STOP" SIGN - R1-1  
"DO NOT ENTER" - R5-1  
"RESERVED PARKING" - R7-8  
"VAN ACCESSIBLE" - R7-6P  
"RESERVED PARKING PENALTIES" - R7-6F

ADDITIONAL DETAILS ASSOCIATED WITH PADOT ROAD IMPROVEMENTS ARE ON THE FOLLOWING STANDARD DETAILS FROM PennDOT PUBLICATION 72M (<http://dot.state.pa.us/public/subsystems/Publications/PUB%2072M%20Pub%2072M%20CV.pdf>) (THE PERMITTEE IS REQUIRED TO PROVIDE THE CONTRACTOR WITH COPIES OF THE MOST CURRENT APPLICABLE RC DRAWINGS FROM THE PennDOT PUBLICATION 72M)

STANDARD DRAWING NUMBER	DRAWING DATE
RC - 35M STANDARD MANHOLES	JUNE 1, 2010
RC - 45M INLET TOPS, GRATES, AND FRAMES	JUNE 1, 2010
RC - 46M INLET BOXES	JUNE 1, 2010
RC - 67M RAMPS	JUNE 10, 2013

**CVS pharmacy**

11,381 NON-PROTO  
REAR DRIVE-THRU

STORE NUMBER: 2173  
BALTIMORE PIKE & MANCHESTER AVENUE  
MEDA BOROUGH, DELAWARE COUNTY, PA

PROJECT TYPE: RELO  
DEAL TYPE: FFS/LEASE

CS PROJECT NUMBER: 80024

ARCHITECT OF RECORD

**BOHLER ENGINEERING**

1800 MANOR DRIVE, SUITE 200  
CHALFONT, PA 19814  
PH: (215) 996-9100  
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[www.bohlerengineering.com](http://www.bohlerengineering.com)

DEVELOPER

SUMMIT REALTY ADVISORS, LLC  
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AMBLER, PA 19002

TEL: 484-532-7830  
FAX: 484-532-7833

**W.R. REARDEN**

PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 0002300

**REVISIONS**

REV.	DATE	COMMENT	BY
01	01/17/2017	PER TOWNHIP COMMENTS	D.J.B.
02	02/20/2017	PER DCCC COMMENTS	D.J.B.
03	04/03/2017	PER TOWNHIP COMMENTS	D.J.B.

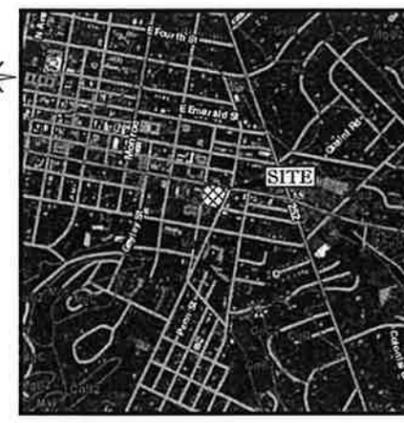
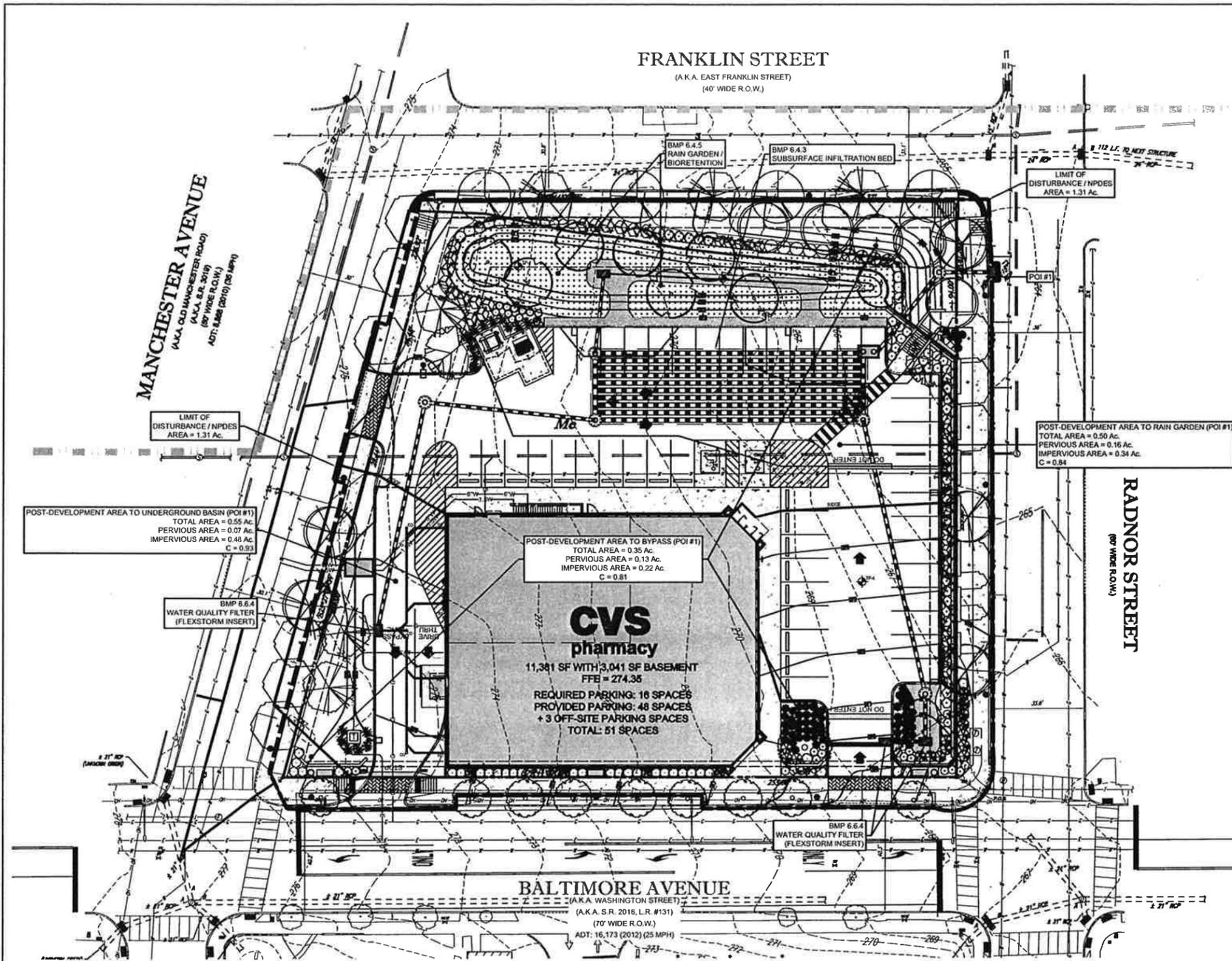
REV.	DATE	COMMENT	BY

CHECKED BY: W.R.R.  
DRAWN BY: D.J.B.  
DATE: 11/14/2016  
JOB NUMBER: PC130124.01  
TITLE:

DETAILS

SHEET NUMBER:  
**16 OF 20**

COMMENTS:  
NOT FOR CONSTRUCTION



**LEGEND**

[Symbol]	EXISTING PROPERTY BOUNDARY
[Symbol]	EXISTING LEGAL ROW
[Symbol]	EXISTING ADJACENT PROPERTY LINE
[Symbol]	EXISTING BUILDING
[Symbol]	EXISTING RETAINING WALL
[Symbol]	EXISTING CONCRETE CURB
[Symbol]	PROPOSED RETAINING WALL
[Symbol]	PROPOSED GUTTER
[Symbol]	PROPOSED CONCRETE CURB
[Symbol]	PROPOSED DEPRESSED CURB
[Symbol]	EXISTING CONTOUR
[Symbol]	PROPOSED CONTOUR
[Symbol]	EXISTING STORM SEWER
[Symbol]	PROPOSED STORM SEWER
[Symbol]	PROPOSED LIMIT OF DISTURBANCE/NPDES BOUNDARY
[Symbol]	POST-DEVELOPMENT DRAINAGE AREA BOUNDARY
[Symbol]	TEST PIT LOCATION
[Symbol]	PROPOSED CURB RAMP (IMPERVIOUS AREA)
[Symbol]	PROPOSED CONCRETE SIDEWALK (IMPERVIOUS AREA)
[Symbol]	PROPOSED DECORATIVE PAVEMENT (IMPERVIOUS AREA)
[Symbol]	PROPOSED TRASH CAN (IMPERVIOUS AREA)
[Symbol]	PROPOSED BENCH (IMPERVIOUS AREA)
[Symbol]	PROPOSED BIKE RACK (IMPERVIOUS AREA)
[Symbol]	PROPOSED FEATURE WALL (IMPERVIOUS AREA)

POST-DEVELOPMENT AREA TO UNDERGROUND BASIN (POI #1)  
TOTAL AREA = 0.55 Ac.  
PERVIOUS AREA = 0.07 Ac.  
IMPERVIOUS AREA = 0.48 Ac.  
C = 0.93

POST-DEVELOPMENT AREA TO BYPASS (POI #1)  
TOTAL AREA = 0.35 Ac.  
PERVIOUS AREA = 0.13 Ac.  
IMPERVIOUS AREA = 0.22 Ac.  
C = 0.81

POST-DEVELOPMENT AREA TO RAIN GARDEN (POI #1)  
TOTAL AREA = 0.50 Ac.  
PERVIOUS AREA = 0.16 Ac.  
IMPERVIOUS AREA = 0.34 Ac.  
C = 0.84

**CVS pharmacy**  
11,381 SF WITH 3,041 SF BASEMENT  
FFE = 274.35  
REQUIRED PARKING: 16 SPACES  
PROVIDED PARKING: 48 SPACES  
+ 3 OFF-SITE PARKING SPACES  
TOTAL: 51 SPACES

**TABLE I - Double Ring Infiltrometer Test Results**

Test Hole Number	Ground Surface Elevation (ft)	Infiltration Depth (ft)	Infiltration Elevation (ft)	Test Interval (minutes)	Final Drop in Water Level (inches)	Infiltration Rate (inches/hour)
DR-1A	272.2	5.5	266.7	30	0.375	0.75
DR-1B	272.2	5.5	266.7	30	1.000	2.00
DR-2A	270.5	5.2	265.3	30	0.188	0.38
DR-2B	270.5	5.2	265.3	30	0.875	1.75
DR-3A	268.0	1.0	267.0	30	0.750	1.50
DR-3B	268.0	1.0	267.0	30	0.250	0.50
DR-3C	268.0	5.2	262.8	30	0.750	1.50
DR-3D	268.0	5.2	262.8	30	0.875	1.75
DR-4A	267.8	3.3	264.5	15	1.375	5.50
DR-4B	267.8	3.3	264.5	15	1.500	6.00
DR-5A	269.0	3.5	265.5	30	1.125	2.80
DR-5B	269.0	3.5	265.5	30	0.600	0.60
DR-5C	269.0	2.2	266.8	30	0.250	0.50
DR-5D	269.0	2.2	266.8	30	0.125	0.25

**TABLE VI - LIMITING ZONE SUMMARY**

Test Location	Ground Surface Elevation (ft)	Limiting Zone Condition	Depth of Limiting Zone(s) (ft)	Depth of Infiltration Test (ft)
TP-1	272.2	Not observed to depth achieved	-	5.5
TP-2	270.5	Not observed to depth achieved	-	5.2
TP-3	268.0	Silt Loam	3.5 to 3.4	1.0 to 5.2
TP-4	267.8	Silt Loam	7.8	3.3
TP-5	269.0	Loam	3.5 to 3.4	2.2 to 3.5

**CVS pharmacy**  
11,381 NON-PROTO REAR DRIVE-THRU  
STORE NUMBER: 2173  
BALTIMORE PIKE & MANCHESTER AVENUE  
MEDIA BOROUGH, DELAWARE COUNTY, PA  
PROJECT TYPE: RELO  
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**ARCHITECT OF RECORD**  
**BOHLER ENGINEERING**  
1600 MANOR DRIVE, SUITE 200  
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**DEVELOPER**  
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201 S. MAPLE AVENUE, SUITE 100  
AMBLER, PA 19002  
TEL : 484-532-7830  
FAX : 484-532-7833

**W.R. REARDEN**  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 000000

**REVISIONS**

REV.	DATE	COMMENT	BY
01	01/17/2017	PER TOWNSHIP COMMENTS	D.J.B.
02	02/20/2017	PER DCCO COMMENTS	D.J.B.
03	04/03/2017	PER TOWNSHIP COMMENTS	D.J.B.

CHECKED BY: W.R.R.  
DRAWN BY: D.J.B.  
DATE: 11/14/2016  
JOB NUMBER: PC130124.01  
TITLE: POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN  
SHEET NUMBER: 17 OF 20  
COMMENTS: NOT FOR CONSTRUCTION

E:\Projects\130124\_01\Drawings\17-Storm\17-Storm.dwg

**ENVIRONMENTAL DUE DILIGENCE AND CLEAN FILL DEFINITION**

IF THE SITE WILL NEED TO IMPORT OR EXPORT MATERIAL FROM THE SITE, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND DETERMINATION OF CLEAN FILL WILL REST WITH THE GENERAL CONTRACTOR.

CLEAN FILL IS DEFINED AS UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, BRICKED MATERIAL, USED ASPHALT, AND BRICK. BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECONSTRUCTIBLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIAL PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE ASPHALT OR ASPHALT THAT HAS BEEN REPROCESSED FOR RE-USE).

ALL CLEAN FILL IMPORTED AND EXPORTED FROM THE SITE SHALL BE IN COMPLIANCE WITH THE DEPARTMENT'S REGULATIONS. CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE SHALL QUALIFY AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES PP-1A AND PP-1B FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".

ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM PP-901 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM PP-901 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM PP-901 CAN BE FOUND AT THE END OF THESE INSTRUCTIONS.

ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS INVESTIGATIVE TECHNIQUES, INCLUDING BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANITARY MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSECTION SCREENING, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS, ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE REGULATIONS MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT AND 25 PA. CODE CHAPTER 287 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS ARE AVAILABLE ONLINE AT [WWW.PAWCOG.COM](http://www.pawcog.com).

**PLANTING SOIL SPECIFICATIONS FOR B.M.P. FACILITIES**

PLANTING SOIL SHALL BE A MANUFACTURED SOIL COMPRISED OF A CLEAN TOPSOIL, SUPPLEMENTED WITH ORGANIC MATERIAL. THE TOPSOIL COMPONENT SHALL BE COMPOSED OF ROUGHLY 50% SAND, 10% CLAY AND 10% SILT BY VOLUME PER PERMEABILITY CLASS #1. SOIL WITH PROBABLY OF 6.00 INCHES OF THE USDA SOIL PERMEABILITY (TEXTURAL TRIANGLE). IT SHALL BE FREE OF ROCKS OR DEBRIS LARGER THAN 1/2" IN DIAMETER. THE ORGANIC MATTER COMPONENT SHALL BE COMPOSED OF COMPOST HIGH IN ORGANIC CONTENT (65%-70% ORGANIC MATTER). THESE COMPONENTS ARE TO BE KEPT SEPARATE UNTIL INSTALLATION. AT TIME OF INSTALLATION, THE TOPSOIL COMPONENT IS TO BE INSTALLED FIRST TO FULL DEPTH (PER THIS DETAIL) WITH EXCEPTION OF THE TOP 2" - 3" OF THE ORGANIC MATTER COMPONENT IS TO BE LAYERED ON TOP AND THEN TILLED TO A DEPTH OF 8" - 10" AND THEN HAND-RAISED SMOOTH. ONCE THE ORGANIC MATTER COMPONENT HAS BEEN PUT IN PLACE, ANY ANCHORS MUST NOT PERMITTED WITHIN THE BMP AREA. THE FINISHED SOIL SHALL HAVE A pH OF 5.8-7.1 AND AN ORGANIC CONTENT 5-15%. THE CONTRACTOR SHALL SUBMIT DOCUMENTATION INCLUDING TEST DATA SHOWING, AT A MINIMUM, THE EXACT TEXTURAL COMPOSITION, THE pH AND SPECIFIC ORGANIC MATERIAL TO BE USED IN EACH BMP. SOIL MIXTURE TO BE REVIEWED BY THE TOWNSHIP ENGINEER PRIOR TO INSTALLATION.

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**GENERAL SEQUENCING NOTES FOR P.C.S.W.M. B.M.P.'s**

1) BOKLER ENGINEERING PA, LLC SHALL BE NOTIFIED OF PRE-CONSTRUCTION MEETING DATE AND B.M.P. CONSTRUCTION SCHEDULE.

2) THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO LIMIT THE COMPACTION IN THE PROPOSED B.M.P. BOTTOMS.

3) INFILTRATION TESTING SHALL BE CONDUCTED UPON SEDIMENT BASIN CONVERSION TO ENSURE THE INFILTRATION RATES HAVE NOT BEEN COMPROMISED DURING CONSTRUCTION.

4) REFER TO THE B.M.P. CONSTRUCTION DETAILS FOR THE CONSTRUCTION OF ALL PROPOSED STORMWATER MANAGEMENT INFILTRATION/WATER QUALITY B.M.P.'s.

5) THE BOTTOM OF ALL INFILTRATION B.M.P.'s SHALL BE UNDISTURBED OR UNCOMPACTED SUBGRADE.

6) REFER TO THE PCSGM PLAN AND DETAILS FOR SPECIFIC B.M.P. CONSTRUCTION GUIDELINES.

7) AS BUILT PLANS OF THE STORMWATER BMP FOR EACH PROJECT PHASE SHALL BE PROVIDED WITHIN SIX MONTHS FOLLOWING THE COMPLETION OF EACH PHASE. THE AS-BUILT PLANS SHALL BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER.

8) A NOTICE OF NONCOMPLIANCE (NOT) WILL BE REQUIRED TO BE SUBMITTED FOLLOWING APPROVAL OF THE FINAL AS-BUILT PLANS PRIOR TO ACCEPTING THE NOT, THE DEPARTMENT ANNOTATION DISTRICT STAFF WILL PERFORM A FINAL INSPECTION TO ENSURE SITE STABILIZATION AND VERIFY ADEQUATE INSTALLATION AND FUNCTION OF STORMWATER BMP's.

**GENERAL MAINTENANCE AND INSPECTION NOTES**

1) VEHICLES SHALL NOT BE PARKED OR DRIVEN ON AN INFILTRATION BASIN, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOVERS.

2) INSPECT THE FACILITY AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 HOURS. ALSO INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, EROSION CONTROL MEASURES, SIGNS OF WATER CONTAMINATION, SPILLS, AND SLOPE STABILITY IN THE BERM'S.

3) MOW ONLY AS APPROPRIATE FOR VEGETATIVE COVER SPECIES.

4) REMOVE ACCUMULATED SEDIMENT FROM FACILITY AS REQUIRED. RESTORE ORIGINAL CROSS SECTION AND INFILTRATION RATE. PROPERLY DISPOSE OF SEDIMENT. REMOVE AND REPLACE SANDSTONE LAYER IF FACILITY DEWATERING THE EXCESSIVE 72 HOURS.

**SEQUENCE OF CONSTRUCTION FOR UNDERGROUND INFILTRATION BASIN:**

1. AREAS FOR PROPOSED UNDERGROUND INFILTRATION SYSTEMS SHALL BE CLEARLY MARKED BEFORE ANY SITE WORK BEGINS TO AVOID SOIL DISTURBANCE AND COMPACTION DURING CONSTRUCTION.

2. PROVIDE EROSION AND SEDIMENTATION CONTROL PROTECTION ON THE SITE SUCH THAT CONSTRUCTION RUNOFF IS DIRECTED AWAY FROM THE PROPOSED UNDERGROUND INFILTRATION SYSTEMS.

3. INSTALL COMPOST FILTER SOCK AROUND THE BASIN AREAS AS SHOWN ON THE PLANS. DO NOT REMOVE INLET PROTECTION OR OTHER EROSION AND SEDIMENT CONTROL MEASURES UNTIL THE SITE IS FULLY STABILIZED.

4. COMPLETE SITE ELEVATION GRADING AND STABILIZE THE SOIL DISTURBED WITHIN THE LIMIT OF DISTURBANCE. DO NOT FINALIZE THE UNDERGROUND INFILTRATION SYSTEMS EXCAVATION AND CONSTRUCTION UNTIL THE DRAINAGE AREA IS FULLY STABILIZED.

5. EXCAVATE UNDERGROUND INFILTRATION AREA TO PROPOSED FINISH DEPTH AND MANUALLY GRADE AND SCAPY THE EXISTING SOIL SURFACE. THE BOTTOM OF THE INFILTRATION BED SHALL BE AT A LEVEL GRADE.

6. EXISTING SUBGRADE SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT LOAD TO PLACEMENT OF GEOTEXTILE AND STONE BED. IF IT IS ESSENTIAL THAT EQUIPMENT BE USED IN THE EXCAVATED AREA, ALL EQUIPMENT MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER. USE OF EQUIPMENT WITH NARROW TRACKS OR TIRES, RUBBER TIRES WITH LARGE LUGS, OR HIGH-PRESSURE TIRES WILL CAUSE EXCESSIVE COMPACTION AND SHALL NOT BE USED.

7. PRIOR TO BMP INSTALLATION, A REPRESENTATIVE FROM THE DELAWARE COUNTY CONSERVATION DISTRICT AND THE BOROUGH ENGINEER MUST BE CALLED TO CONDUCT AN INSPECTION. CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD (OR DESIGNER) AND HOLD AN INFILTRATION BASIN PRE-CONSTRUCTION MEETING ONCE THE FOOTPRINT OF THE INFILTRATION BASIN HAS BEEN EXCAVATED TO THE DESIGN ELEVATION AND INFILTRATION TESTING SHALL BE PERFORMED TO ASSURE DESIGN RATES ARE CONSISTENT.

8. PLACE GEOTEXTILE ALONG THE SIDES OF THE BED AND PLACE THE RECHARGE BED AGGREGATE AND ASPHALT OR STONE IMMEDIATELY AFTER APPROVAL OF SUBGRADE PREPARATION TO PREVENT ACCUMULATION OF DEBRIS OR SEDIMENT. PREVENT RUNOFF AND SEDIMENT FROM ENTERING THE STORAGE BED DURING THE PLACEMENT OF THE GEOTEXTILE AND AGGREGATE.

9. INSTALL ALL CONTROL STRUCTURES WITHIN THE BASIN.

10. PLACE GEOTEXTILE IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDATIONS. ADJACENT STRIPS OF FILTER FABRIC SHALL OVERLAP A MINIMUM OF 18 INCHES. FABRIC SHALL BE SECURED AT LEAST 4 FEET OUTSIDE OF BED.

11. INITIAL AGGREGATE COURSE IN LIFTS OF 6-8 INCHES. LIGHTLY COMPACT EACH LAYER WITH EQUIPMENT, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBSURFACE TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED ON THE DRAWINGS.

12. FOLD A SECURE, NON-WOVEN GEOTEXTILE OVER UNDERGROUND INFILTRATION BASIN.

13. PER GEOTECH REPORT, COMPLETE SURFACE GRADING ABOVE THE UNDERGROUND INFILTRATION SYSTEM, USING SUITABLE EQUIPMENT TO AVOID EXCESS COMPACTION.

14. PAVE OVER SOIL WITH APPROPRIATE PAVEMENT INDICATED ON PARKING PLAN.

15. ANY SEDIMENT THAT ENTERS INLETS DURING CONSTRUCTION IS TO BE REMOVED WITHIN 24 HOURS.

**PROCEDURES FOR PROPER RECYCLING AND/OR DISPOSAL OF CONSTRUCTION WASTES ASSOCIATED WITH E&S B.M.P.'s**

1) DUST CONTROL - CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE AT THE STABILIZED CONSTRUCTION ENTRANCE. THE PURPOSE IS TO TRAP DUST AND AVOID THAT WOULD OTHERWISE BE CARRIED OFF SITE BY CONSTRUCTION TRAFFIC. WATER TRUCKS SHALL BE USED AS NECESSARY TO MAINTAIN DUST CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL. MUST BE PROVIDED BY THE CONTRACTOR TO A DEBRIS THAT IS ACCEPTABLE TO THE LOCAL CONSERVATION DISTRICT. AFTER CONSTRUCTION, THE SITE WILL BE STABILIZED, WHICH WILL REDUCE THE POTENTIAL FOR DUST GENERATION.

2) SOLID WASTE DISPOSAL - NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, ARE ALLOWED TO BE DISCHARGED FROM THE SITE WITH STORMWATER. SOLID WASTE DISPOSAL MATERIALS INCIDENTAL TO THE MAJOR CONSTRUCTION ACTIVITIES, MUST BE COLLECTED AND PLACED IN CONTAINERS. THE CONTAINERS WILL BE EMPLOYED AS NECESSARY BY A CONTRACT TRASH DISPOSAL SERVICE AND HAULED AWAY FROM THE SITE.

3) SANITARY FACILITIES - ALL PERSONNEL INVOLVED WITH CONSTRUCTION ACTIVITIES MUST COMPLY WITH STATE AND LOCAL SANITARY OR SEPTIC SYSTEM REGULATIONS. TEMPORARY SANITARY FACILITIES WILL BE PROVIDED AT THE SITE THROUGHOUT THE CONSTRUCTION PHASE. THEY MUST BE UTILIZED BY ALL CONSTRUCTION PERSONNEL AND WILL BE SERVICED BY ALLENHED COMMERCIAL OPERATION.

4) WATER SOURCE - NON-STORMWATER COMPONENTS OF SITE DISCHARGE MUST BE CLEAN WATER. WATER USED FOR CONSTRUCTION SHALL BE CLEAN WATER. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DEPART FROM THE SITE.

5) CONCRETE WASTE FROM CONCRETE READY-MIX TRUCKS - DISCHARGE OF EXCESS OR WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE TRUCKS WILL BE ALLOWED ON THE CONSTRUCTION SITE, BUT ONLY IN SPECIFICALLY DESIGNATED AREAS PREPARED TO PREVENT CONTACT BETWEEN THE CONCRETE AND/OR WASH WATER AND STORMWATER THAT WILL BE DISCHARGED FROM THE SITE.

**POST-CONSTRUCTION STORMWATER MANAGEMENT B.M.P. NOTES**

1) THE STORMWATER MANAGEMENT SYSTEM HAS BEEN DESIGNED WITH APPLICABLE BEST MANAGEMENT PRACTICES TO THE GREATEST EXTENT POSSIBLE GIVEN THE SITE'S DESIGN CONSTRAINTS.

2) UNDERGROUND INFILTRATION BASIN - THE UNDERGROUND INFILTRATION BASIN HAS BEEN DESIGNED TO MANAGE AND INFILTRATE THE DIFFERENCE IN THE 2-YEAR PRE-DEVELOPMENT VOLUME TO THE 2-YEAR POST-DEVELOPMENT VOLUME. THE BASIN HAS ALSO BEEN DESIGNED TO REDUCE THE POST-DEVELOPMENT RUNOFF RATES TO AT OR BELOW THE PRE-DEVELOPMENT RUNOFF RATES.

3) WATER QUALITY STRUCTURES - THESE (3) INLETS WERE DESIGNED WITH WATER QUALITY DEVICES TO PRE-TREAT/REMOVE SEDIMENT AND/OR POLLUTANTS FROM THE STORM DRAINAGE SYSTEM PRIOR TO ENTERING THE BASIN AREA.

4) RAIN GARDEN - A RAIN GARDEN HAS BEEN DESIGNED TO CAPTURE A PORTION OF THE SITE'S STORM WATER RUNOFF AND REDUCE THE VOLUME FROM THE PRE-DEVELOPMENT TO THE POST-DEVELOPMENT PER PADEP'S REQUIREMENTS.

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7. PRIOR TO BMP INSTALLATION, A REPRESENTATIVE FROM THE DELAWARE COUNTY CONSERVATION DISTRICT AND THE BOROUGH ENGINEER MUST BE CALLED TO CONDUCT AN INSPECTION. CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD (OR DESIGNER) AND HOLD AN INFILTRATION BASIN PRE-CONSTRUCTION MEETING ONCE THE FOOTPRINT OF THE INFILTRATION BASIN HAS BEEN EXCAVATED TO THE DESIGN ELEVATION AND INFILTRATION TESTING SHALL BE PERFORMED TO ASSURE DESIGN RATES ARE CONSISTENT.

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**SEQUENCE OF CONSTRUCTION**

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED IN COMPLIANCE WITH CHAPTER 102 REGULATIONS. THE FOLLOWING STAGE IS INITIATED: CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY THAT WILL EXCEED FOUR (4) DAYS, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.

AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL NOTIFY ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING, BUT NOT LIMITED TO, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS AND A REPRESENTATIVE OF THE DELAWARE COUNTY CONSERVATION DISTRICT. THE OPERATOR SHALL NOTIFY THE DELAWARE COUNTY CONSERVATION DISTRICT SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES. ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INC. AT 800-345-1379 FOR BURIED UTILITIES LOCATION.

BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE DELAWARE COUNTY CONSERVATION DISTRICT. THE OPERATOR SHALL NOTIFY THE DELAWARE COUNTY CONSERVATION DISTRICT BY PHONE OR PERSONAL CONTACT, FOLLOWED BY THE SUBMISSION OF A WRITTEN REPORT WITHIN 5 DAYS OF THE INITIAL CONTACT. NONCOMPLIANCE REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:

(1) ANY CONDITION ON THE PROJECT SITE WHICH MAY ENDANGER PUBLIC HEALTH, SAFETY, OR THE ENVIRONMENT, OR INVOLVE INCIDENTS WHICH CAUSE OR THREATEN POLLUTION.

(2) THE PERIOD OF NONCOMPLIANCE, INCLUDING EXACT DATES AND TIMES AND/OR ANTICIPATED THE WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.

(3) STEPS BEING TAKEN TO REDUCE, ELIMINATE, AND PREVENT RECURRENCE OF THE NONCOMPLIANCE, AND

(4) THE DATE OR SCHEDULE OF DATES, AND IDENTIFYING REMEDIES FOR CORRECTING NONCOMPLIANCE CONDITIONS.

1. INITIAL CONSTRUCTION ENTRANCE AS DESIGNATED ON THE PLANS.

2. INSTALL ALL PERIMETER CONTROLS (COMPOST FILTER SOCKS) WITHIN THE DESIGNATED LIMIT OF DISTURBANCE AS INDICATED ON THE PLANS. ONLY LIMITED CLEARING AND GRUBBING NECESSARY TO INSTALL THE PERMETER EROSION AND SEDIMENT POLLUTION CONTROLS IS PERMITTED.

3. CONSTRUCT SEDIMENT TRAP. ONLY LIMITED CLEARING AND GRUBBING IS PERMITTED FOR CONSTRUCTION OF ACCESS TO THE SEDIMENT TRAP. CONSTRUCTION OF THE SEDIMENT TRAP SHALL INCLUDE THE NECESSARY CLEARING AND GRUBBING, EARTHWORK, AND COMPOST FILTER SOCKS AS SHOWN ON THE PLANS AND DETAILS, AND ANY NECESSARY TEMPORARY STABILIZATION OF ALL DISTURBED AREAS. THE TRAP IS TO BE ESTABLISHED AND FUNCTIONING PRIOR TO ANY FURTHER EARTH DISTURBANCE ACTIVITIES. UPON INSTALLATION OF THE SEDIMENT TRAP, AN IMMEDIATE INSPECTION SHALL BE CONDUCTED BY A QUALIFIED SITE REPRESENTATIVE AND THE DELAWARE COUNTY CONSERVATION DISTRICT.

4. THE PERMITS SHALL PROVIDE ENGINEERING OVERSIGHT FOR THE CONSTRUCTION OF UNDERGROUND INFILTRATION BASINS. A LICENSED PROFESSIONAL OR DESIGNER KNOWLEDGEABLE IN THE DESIGN AND CONSTRUCTION OF UNDERGROUND INFILTRATION BASINS, PREPARATIONS SHOULD BE MADE FOR SEEDING AND MULCHING TO BEHOLD (I.E. ANTICIPATE THE COMPLETION DATE AND SCHEDULE THE SEEDING). IN NO CASE SHOULD AN AREA BE SEEDING, MULCHING OR STABILIZED WITHIN AN APPROVED CONSTRUCTION. THE PERMITTEE SHALL PROVIDE ENGINEERING OVERSIGHT FOR THE REMOVAL OF THE SEDIMENT TRAP AND A LICENSED PROFESSIONAL OR DESIGNER KNOWLEDGEABLE IN THE DESIGN AND CONSTRUCTION OF RAIN GARDENS, PREFERABLY THE DESIGN ENGINEER, SHALL CONDUCT OVERSIGHT OF THE INSTALLATION.

5. CRITICAL STAGE - INITIAL STORM SEWER AND UNDERGROUND INFILTRATION BASIN INSTALLATIONS FOR THE FEATURES SHOWN ON THE PLANS STARTING AT THE FURTHEST DOWNSTREAM STRUCTURE. (SEE ADDITIONAL INFILTRATION FACILITY SEQUENCING, INSTALLATION AND MAINTENANCE A INSTRUCTION NOTES PROVIDED WITH THE PERMIT). THE PERMITTEE SHALL CONTACT THE OVERSIGHT, INLETS DISCHARGING TO THE UNDERGROUND INFILTRATION BASIN SHALL BE BLOCKED IMMEDIATELY AFTER INSTALLATION AND REMAIN BLOCKED UNTIL THE SITE IS FULLY STABILIZED TO PREVENT SEDIMENT FROM ENTERING THE UNDERGROUND INFILTRATION BASIN. NO CONSTRUCTION EQUIPMENT, SUCH AS CHANNEL FORMING BILGING CONSTRUCTION, SHALL BE PAID ON TOP OF THE UNDERGROUND WORKING TO AVOID DAMAGING THE UNDERGROUND BASIN OR OVER-COMPACTING THE SUBSURFACE SOILS.

6. CRITICAL STAGE - INITIAL STORM SEWER AND UNDERGROUND INFILTRATION BASIN INSTALLATIONS FOR THE FEATURES SHOWN ON THE PLANS STARTING AT THE FURTHEST DOWNSTREAM STRUCTURE. (SEE ADDITIONAL INFILTRATION FACILITY SEQUENCING, INSTALLATION AND MAINTENANCE A INSTRUCTION NOTES PROVIDED WITH THE PERMIT). THE PERMITTEE SHALL CONTACT THE OVERSIGHT, INLETS DISCHARGING TO THE UNDERGROUND INFILTRATION BASIN SHALL BE BLOCKED IMMEDIATELY AFTER INSTALLATION AND REMAIN BLOCKED UNTIL THE SITE IS FULLY STABILIZED TO PREVENT SEDIMENT FROM ENTERING THE UNDERGROUND INFILTRATION BASIN. NO CONSTRUCTION EQUIPMENT, SUCH AS CHANNEL FORMING BILGING CONSTRUCTION, SHALL BE PAID ON TOP OF THE UNDERGROUND WORKING TO AVOID DAMAGING THE UNDERGROUND BASIN OR OVER-COMPACTING THE SUBSURFACE SOILS.

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14. CRITICAL STAGE - INITIAL STORM SEWER AND UNDERGROUND INFILTRATION BASIN INSTALLATIONS FOR THE FEATURES SHOWN ON THE PLANS STARTING AT THE FURTHEST DOWNSTREAM STRUCTURE. (SEE ADDITIONAL INFILTRATION FACILITY SEQUENCING, INSTALLATION AND MAINTENANCE A INSTRUCTION NOTES PROVIDED WITH THE PERMIT). THE PERMITTEE SHALL CONTACT THE OVERSIGHT, INLETS DISCHARGING TO THE UNDERGROUND INFILTRATION BASIN SHALL BE BLOCKED IMMEDIATELY AFTER INSTALLATION AND REMAIN BLOCKED UNTIL THE SITE IS FULLY STABILIZED TO PREVENT SEDIMENT FROM ENTERING THE UNDERGROUND INFILTRATION BASIN. NO CONSTRUCTION EQUIPMENT, SUCH AS CHANNEL FORMING BILGING CONSTRUCTION, SHALL BE PAID ON TOP OF THE UNDERGROUND WORKING TO AVOID DAMAGING THE UNDERGROUND BASIN OR OVER-COMPACTING THE SUBSURFACE SOILS.

15. CRITICAL STAGE - INITIAL STORM SEWER AND UNDERGROUND INFILTRATION BASIN INSTALLATIONS FOR THE FEATURES SHOWN ON THE PLANS STARTING AT THE FURTHEST DOWNSTREAM STRUCTURE. (SEE ADDITIONAL INFILTRATION FACILITY SEQUENCING, INSTALLATION AND MAINTENANCE A INSTRUCTION NOTES PROVIDED WITH THE PERMIT). THE PERMITTEE SHALL CONTACT THE OVERSIGHT, INLETS DISCHARGING TO THE UNDERGROUND INFILTRATION BASIN SHALL BE BLOCKED IMMEDIATELY AFTER INSTALLATION AND REMAIN BLOCKED UNTIL THE SITE IS FULLY STABILIZED TO PREVENT SEDIMENT FROM ENTERING THE UNDERGROUND INFILTRATION BASIN. NO CONSTRUCTION EQUIPMENT, SUCH AS CHANNEL FORMING BILGING CONSTRUCTION, SHALL BE PAID ON TOP OF THE UNDERGROUND WORKING TO AVOID DAMAGING



